



BRAZEAU COUNTY

January 13, 2025

VISION

The Independent Spirit of Beautiful Brazeau County Inspires Innovative Leaders.

MISSION

We Value a Climate Where:

- Entrepreneurs Flourish and Recreation Abounds
 - Our Residents-First Philosophy is forefront
- We Appreciate our Natural Resources and Environment.
- We Drive Ambition and Welcome Diverse Opportunities
- We Support Innovative Ideas and Continually Improve Service Levels.

VALUES

We Value:

- Transparency, Integrity and Ambition
 - Diversity among our Communities
 - Our Neighbors
- Efficiency & Pragmatism

GOALS

Infrastructure

- Cost-effective Quality Infrastructures
- Innovative Green Projects

Economic Growth

- Welcome Revenue Generating Opportunities
- Attractive Business Climate
- Collaborative Partnerships

Policy

- Equitable
- Current and Enforceable
- Clear Expectations

Finance

- Low Taxes and Rebates
- No Fees
- Balanced Budget and a Four–Year Plan
- Reserve Management

Lobbying

- Grant Opportunities
- Tourism
- Investors
- Municipal Opportunities
- Provincial Support
- Land and Partnerships

440/24-07-02	Administration to consolidate the county owned lots in Cynthia: Lots 4 & 5, Lots 12 & 13, Lots 14 & 15 all within Block 4 Plan 1989 KS and then proceed to public tender as discussed.	Completed Dec 17, 2024
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**BRAZEAU COUNTY
REGULAR COUNCIL MEETING
AGENDA**

DATE: 2025 01 13
TIME: 9:00 AM
PLACE: COUNTY ADMINISTRATION BUILDING, COUNCIL CHAMBERS

Call to Order

Present

1. Urgent Additions and Adoption of the Agenda (**Pages 4 - 8**)
2. Adoption of the minutes of the Council Meeting of:
 - a) December 17, 2024 Regular Council Meeting (**Pages 9 - 16**)
3. Business Arising

Follow Up Action List:

MOTION	ACTION	STATUS
258/23-04-18	Administration to develop a positive marketing strategy regarding inter-municipal spending.	Completed See Motion: 742/24-12-17
823/23-12-19	Administration to bring forward costs and a plan for Ring Road solar lights.	Completed Jan 13, 2025
153/24-03-05	Administration to resolve the unsightly premises at Moose Hill Community Hall.	Fall 2024 Letters sent
488/24-09-03	Administration to communicate with the Town of Drayton Valley regarding their process for shared facility rentals and request that advance notice be given to the County and the applicant regarding formal motions to waive fees.	Rec Board Meeting Jan 8, 2025
555/24-10-01	Administration to start preparations for a 150 Year Metis Celebration in 2026 in conjunction and consultation with the indigenous Treaty 6 partners, local Metis organization and the Town of Drayton Valley.	Target Date 2026
574/24-10-15	Administration to engage with the operator (Taverner) of the pit to discuss suggestions to reduce the noise and return to Council with this information.	In progress
582/24-10-15	Administration to work with the Rocky Rapids Community League to pursue discussions to address concerns with the building, including possible demolition of the building.	Spring 2025

641/24-11-19	Table the discussion regarding the donation of the bridge to a future meeting.	Target Date Feb 4, 2025
658/24-11-19	Administration to negotiate a solution to the Hilltop Acres land situation based on the parameters discussed in closed.	In progress
674/24-11-20	Administration to bring back options for a collection site for used oil, oil filters, antifreeze and empty oil containers, subject to ARMA grant, prior to final budget	Prior to Final Budget
681/24-11-21	Administration to bring back the full cost of rehabilitation of Twp Road 495 from RR 71 to RR 73	Target Date Feb 18, 2025
688/24-11-21	Administration to clean up the site of the Cynthia rink of debris and trees.	Target Date Spring 2025
713/24-12-03	Administration to draft a clear step by step procedure for how to conduct an investigation within the Code of Conduct Bylaw.	Target Date With CAO
728/24-12-03	Administration to develop a policy or bylaw for Council's review restricting the creation of landlock parcels.	Target Date Feb 18, 2025
769/24-12-17	Administration to bring an additional update to the January 13, 2025 closed session regarding Oil and Gas Lease Revenue.	Completed Jan 13, 2025

4. CAO Report
No reports

5. Delegations/Appointments

11:00 am Public Input Session

6. Planning and Development
- a) Bylaw 1199-25 to Rezone Pt NE 34-47-5-W5M from Agricultural (AG) to Agricultural Holdings (AGH)
- Request for Council Decision attached **(Pages 17 - 29)**
7. Finance
- a) Bank Reconciliation Statements Oct 31 and Nov 30, 2024 **(Pages 30 - 31)**
 - b) Setting Tax Recovery Sale Reserve Bids
- Request for Council Decision attached **(Pages 32 - 35)**
 - c) 2024 Provincial Education Requisition Credit (PERC) program
- Request for Council Decision attached **(Pages 36 - 41)**

8. Public Works
 - a) Sunset Acres Drainage Review
- Update Report to Council attached (**Pages 42 - 62**)
 - b) Administration Building Front Entrance Concrete Repairs
- Request for Council Decision attached (**Pages 63 - 80**)
 - c) Sand and Salt Shed Paving
- Request for Council Decision attached (**Pages 81 - 83**)
 - d) 2025 Mini Hydraulic Excavator - Tender Award
- Request for Council Decision attached (**Pages 84 - 85**)
 - e) 2025 Grader Replacement - Tender Award
- Request for Council Decision attached (**Pages 86 - 88**)
 - f) Ring Road Pathway Lights
- Request for Council Decision attached (**Pages 89 - 117**)
 - g) Twp 474 from Range Road 54 to Range Road 55
- Update report to Council attached (**Pages 118 - 120**)
 - h) Road Request List
- Update Report to Council attached (**Pages 121 - 126**)
9. Fire Services
10. No reports
11. Agricultural Services
No reports
12. Community Services
No reports
- General Matters
 - a) Log of Public Viewing of Nomination Papers
- Update Report to Council attached (**Pages 127 - 128**)
 - b) Drake's Handi Bus Support (**Page 129**)
 13. c) Joint Town and County Meeting Discussion Items (**Pages 130 - 132**)
- G. Gunderson
- Correspondence
 - a) RCMP re: RMA Convention Meeting Follow Up (**Page 133**)

14. Council Reports December:
Reeve B. Guyon attended:
- Travel to Leduc Eavor presentation
 - Regular Council Meeting
 - Rural Wealth Presentation
 - Joint Meeting with Town of Drayton Valley

- Councillor G. Gunderson attended:
- Yellowhead Regional Library Organizational Meeting
 - Regular Council Meeting x 2
 - Rural Wealth Creation
 - Joint Meeting with Town of Drayton Valley
 - Agricultural Service Board

- Councillor D. Wiltse attended:
- Regular Council Meeting x 2
 - FCSS Grant Distributions
 - Rural Wealth Water Information Session
 - Joint Council Meeting
 - EPAC
 - Child Care Board

- Councillor C. Brooks attended:
- Regular Council Meeting x 2
 - Brazeau Foundation Special Meeting - no charge
 - Rural Wealth Creation Information Session
 - Joint Council Meeting
 - Brazeau Foundation Special Meeting - no charge

- Councillor K. Westerlund attended:
- Regular Council Meeting x 2
 - DEM Insurance Meeting/MPC
 - Rural Wealth Creation Information Session
 - Joint Council Meeting

- Councillor A. Heinrich attended:
- Regular Council Meeting x 2
 - MPC
 - Joint Council Meeting
 - ASB

- Councillor D. Ekstrom attended:
- Regular Council Meeting x 2
 - MPC
 - Rural Wealth Creation
 - Joint Council Meeting
 - ASB

15. Meeting Dates:
 - a) Emergency Management Training for Elected Officials Date Suggestions
16. Closed Session:
 - a) Oil and Gas Lease Revenue *FOIP Section 16*
 - b) Drayton Valley Library Funding Agreement *FOIP Section 24*
 - c) Code of Conduct Complaint *FOIP Section 19*
 - d) Hilltop Acres *FOIP Section 25*
17. Adjournment

MINUTES OF THE REGULAR COUNCIL MEETING OF BRAZEAU COUNTY, HELD IN THE COUNTY ADMINISTRATION BUILDING, COUNCIL CHAMBERS IN BRAZEAU COUNTY ON TUESDAY DECEMBER 17, 2024

CALL TO ORDER

Deputy Reeve D. Ekstrom called the meeting to order at 9:00 a.m.

PRESENT

G. Gunderson, Councillor
D. Wiltse, Councillor
D. Ekstrom, Councillor
C. Brooks, Councillor
A. Heinrich, Councillor
K. Westerlund, Councillor
R. Friesen, Chief Administrative Officer
T. Scharfl, Executive Assistant
E. Esser, Administrative Assistant

ABSENT

B. Guyon, Reeve

**URGENT ADDITIONS
AND ADOPTION
OF AGENDA**

Addition to and Adoption of Agenda

740/24-12-17

Moved by K. Westerlund to approve the agenda with the following additions:

- 4. CAO Report
 - a) Inter-municipal Collaboration Frameworks discussion
- 16. REMOVE - Closed Session
 - b) Drayton Valley Library Funding
- 15. Meeting dates
 - c) Ratification of attendance at RMA Water Availability Webinar Dec 11 - D. Wiltse
- 12. General Matters
 - d) Taverner Pit Update and Continued Concerns - K. Westerlund

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Adoption of Minutes

741/24-12-17

Moved by G. Gunderson to approve the minutes of the December 3, 2024 Council meeting.

CARRIED UNANIMOUSLY

**BUSINESS
ARISING**

Business Arising

Follow Up Action List

R. Friesen reviewed the status of the action items.

CAO REPORT

Inter-municipal Collaboration Frameworks (ICF)

R. Friesen recommended Council defer ICF discussions until such time as the province adopts updated ICF legislation.

742/24-12-17

Moved by A. Heinrich that Council delay Inter-municipal Collaboration Frameworks discussions until such time as the province adopts updated legislation, as recommended by the Deputy Minister.

CARRIED UNANIMOUSLY

**DELEGATIONS/
APPOINTMENTS**

Delegations/Appointments

Town of Drayton Valley and Area Education Management Plan

Kundiso Nyambirai, Growth Services Manager presented the Town of Drayton Valley's educational portfolio.

743/24-12-17

Moved by K. Westerlund to receive the Town of Drayton Valley and Area Education Management Plan for information.

CARRIED UNANIMOUSLY

**PLANNING AND
DEVELOPMENT**

Planning and Development

**Cynthia Area Structure Plan Amendment Bylaw 1197-25 to amend Figure 4
Future Land Use Concept Map**

K. Sterling presented Bylaw 1197-25 proposing an amendment to the Future Land Use Concept within the Cynthia Area Structure Plan.

744/24-12-17

Moved by K. Westerlund to give first reading to Bylaw 1197-25.

CARRIED UNANIMOUSLY

**Land Use Bylaw Amendment Bylaw 1198-25 to Rezone Lot A, Block 8, Plan 1989KS
within SE 5-50-10 W5M from Institutional (I) District to Hamlet Residential (HR)**

K. Sterling presented Bylaw 1198-25 for first reading.

745/24-12-17

Moved by G. Gunderson to give first reading to Bylaw 1198-25.

CARRIED UNANIMOUSLY

Bylaw 1195-24 to rezone five County-owned lots within the Hamlet of Cynthia from Urban Reserve (UR) to Hamlet Residential (HR)

K. Sterling presented Bylaw 1195-24 for first reading.

746/24-12-17 Moved by D. Wiltse to give first reading to Bylaw 1195-24.
CARRIED UNANIMOUSLY

Deputy Reeve called for a Break at 9:57 a.m. and the meeting resumed at 10:06 a.m.

**AGRICULTURAL
SERVICES**

Agricultural Services

Appointment of Agricultural Fieldman

D. McCann presented a request to appoint Liz Seutter-Rosell as the Agricultural Fieldman.

747/24-12-17 Moved by A. Heinrich to appoint Liz Seutter-Rosell as the Agricultural Fieldman as per the *Agricultural Services Act*.
CARRIED UNANIMOUSLY

FINANCE

Finance

2025 Schedule of Fees Bylaw 1193-24

C. Swap presented the Schedule of Fees Bylaw that sets out fees for services and goods offered to the public.

748/24-12-17 Moved by C. Brooks to table Bylaw 1193-24 to later in the agenda.
CARRIED UNANIMOUSLY

**GENERAL
MATTERS**

General Matters

Library Report

749/24-12-17 Moved by A. Heinrich to receive the Library Report for information.
CARRIED UNANIMOUSLY

Candidate Criminal Record Check Bylaw 1196-24

C. Whalen presented a bylaw requiring prospective candidates to provide a criminal record check with their nomination papers.

750/24-12-17 Moved by G. Gunderson to give first reading to Bylaw 1196-24.
CARRIED UNANIMOUSLY

751/24-12-17 Moved by K. Westerlund to give second reading to Bylaw 1196-24.
CARRIED UNANIMOUSLY

752/24-12-17 Moved by C. Brooks to go to third reading to Bylaw 1196-24.
CARRIED UNANIMOUSLY

753/24-12-17 Moved by A. Heinrich to give third reading to Bylaw 1196-24.
CARRIED UNANIMOUSLY

2025 Assessment Review Board Training Dates

C. Whalen presented training dates available for interested council members.

754/24-12-17 Moved by A. Heinrich to receive the 2025 Assessment Review Board Training Dates for information.
CARRIED UNANIMOUSLY

Taverner Pit Update and Continued Concerns

K. Westerlund asked for an update on the on going concerns of noise coming from the Taverner Pit.

755/24-12-17 Moved by K. Westerlund to receive the Taverner Update for information.
CARRIED UNANIMOUSLY

**COUNCIL
REPORTS**

Council Reports

756/24-12-17 Moved by A. Heinrich to receive the Council reports for information.
CARRIED UNANIMOUSLY

**MEETING
DATES**

Meeting Dates

DLA Piper Function December 4, 2024

757/24-12-17 Moved by A. Heinrich to receive the request ratify the Reeve's attendance at the DLA Piper Function on December 4, 2024 for information.

IN FAVOUR

A. Heinrich
D. Ekstrom
C. Brooks
K. Westerlund

OPPOSED

G. Gunderson

D. Wiltse

CARRIED

Reschedule January 21, 2025 Council Meeting

758/24-12-17

Moved by D. Wiltse to reschedule the January 21, 2025 Council Meeting to January 13, 2025.

CARRIED UNANIMOUSLY

RMA Water Availability Webinar December 11, 2024

759/24-12-17

Moved by G. Gunderson to ratify Councillor D. Wiltse's attendance at the RMA Water Availability Webinar on December 11, 2024.

CARRIED UNANIMOUSLY

**PUBLIC INPUT
SESSION**

Public Input Session

Deputy Reeve D. Ekstrom opened the Public Input Session at 11:00 a.m.

Alan Taylor stated that he has been dealing with a FOIP request as the applicant for inquiry number 028951 for three years and was he advised that no elected officials are to have anything to do with a FOIP request. He asked why the CAO sent Council the Privacy Commissioner's decision? He indicated he has spoken with Municipal Affairs, and he believes this correspondence should have only been between the CAO, the Assistant to CAO, and FOIP Coordinator.

Deputy Reeve declined to comment or discuss the question stating the issue is potentially before the courts.

Alan Taylor refused to leave and demanded an answer.

Deputy Reeve D. Ekstrom concluded Mr. Taylor's time at the microphone.

Lynn Oberle raised concerns: 1) There is no need for the construction of Township Road 474 and the project should not be on the road plan. 2) He stated there is no value of criminal record checks, as unless a person has a sentencing of 5 years or more, they can still run for council, so a record check doesn't mean much. 3) He quoted from Mr. Taylor's FOIP decision and commented that all the County's FOIP arguments were ruled to be invalid. 4) He asked why the Deputy Reeve was uptight about the law, and stated that the issue doesn't need to go to court.

Deputy Reeve D. Ekstrom closed the Public Input Session at 11:10 a.m.

ANNIVERSARY PRESENTATION

Deputy Reeve D. Ekstrom introduced Tom and Velma Impey and provided their family history. Council presented a commemorative clock to honour their 63rd Wedding Anniversary.

Deputy Reeve D. Ekstrom called for a break at 11:19 a.m. and the meeting resumed at 11:55 a.m.

FINANCE

Finance

2025 Schedule of Fees Bylaw 1193-24

760/24-12-17 Moved by C. Brooks to add clause 3. e) Revision of Approved Application in the amount of \$50.00, to the 2025 Schedule of Fees Bylaw 1193-24.

IN FAVOUR

A. Heinrich
D. Wiltse
G. Gunderson
C. Brooks
K. Westerlund

OPPOSED

D. Ekstrom

CARRIED

761/24-12-17 Moved by A. Heinrich to give first reading to Bylaw 1193-24 as amended.

CARRIED UNANIMOUSLY

762/24-12-17 Moved by G. Gunderson to give second reading to Bylaw 1193-24 as amended.

CARRIED UNANIMOUSLY

763/24-12-17 Moved by D. Wiltse to go to third reading for Bylaw 1193-24.

CARRIED UNANIMOUSLY

764/24-12-17 Moved by C. Brooks to give third reading to Bylaw 1193-24 as amended.

CARRIED UNANIMOUSLY

765/24-12-17 Moved by G. Gunderson to add to the agenda the Drayton Valley/Devon MLA Christmas Open House December 17, 2024.

IN FAVOUR

G. Gunderson
D. Wiltse
D. Ekstrom
C. Brooks
K. Westerlund

OPPOSED

A. Heinrich

CARRIED

766/24-12-17

Moved by G. Gunderson to approve Council's attendance at the Drayton Valley/Devon MLA Open House December 17, 2024.

IN FAVOUR

K. Westerlund
G. Gunderson

OPPOSED

A. Heinrich
D. Wiltse
D. Ekstrom
C. Brooks

DEFEATED

**CLOSED
SESSION**

Closed Session

767/24-12-17

Moved by K. Westerlund that the regular Council Meeting of December 17, 2024 proceed into closed session at 12:13 p.m. for the purpose of discussing:

- a) Oil and Gas Lease Revenue *FOIP Section 16*
- b) Privacy Commissioner *FOIP Section 17*

CARRIED UNANIMOUSLY

K. Sterling, Long Range Planner joined the closed session at 12:16 p.m. for the purpose of discussing Oil and Gas Lease Revenue *FOIP Section 16*.

K. Sterling left the closed session at 12:35 p.m.

768/24-12-17

Moved by A. Heinrich that the regular Council Meeting of December 17, 2024 come out of closed session at 1:32 p.m.

CARRIED UNANIMOUSLY

Deputy Reeve D. Ekstrom called for a break at 1:33 p.m. to allow the public ample time to return and the meeting resumed at 1:42 p.m.

769/24-12-17

Moved by D. Wiltse to receive the update and further to direct Administration to bring an additional update to the January 13, 2025 closed session regarding Oil and Gas Lease Revenue.

CARRIED UNANIMOUSLY

770/24-12-17

Moved by K. Westerlund to direct Administration to further consult legal counsel regarding the decision of the Privacy Commissioner.

IN FAVOUR

D. Ekstrom

D. Wiltse

OPPOSED

A. Heinrich

G. Gunderson

C. Brooks

K. Westerlund

DEFEATED

ADJOURNMENT


771/24-12-17

Moved by K. Westerlund that the regular Council Meeting of December 17, 2024 adjourn at 1:44 p.m.

CARRIED UNANIMOUSLY

Deputy Reeve

Executive Assistant

BRAZEAU COUNTY REQUEST FOR COUNCIL DECISION		
SUBJECT:	Land Use Bylaw Amendment Bylaw 1199-25 to Rezone Pt NE 34-47-5-W5M from Agricultural (AG) to Agricultural Holdings (AGH)	
DATE TO COUNCIL:	January 13, 2025	
SUBMITTED BY:	Chandra Dyck, Senior Development Officer	
ENDORSED BY:	Lee Chambers, Director of Community Services	
REVIEWED BY CAO:		
FILE NO:	24A-014	

RECOMMENDED ACTIONS:

That Council give First Reading to Bylaw 1199-25 proposing a portion of Pt NE 34-47-5-W5M [± 5.06 ac (± 2.05 ha)] be rezoned from Agricultural (AG) to Agricultural Holdings (AGH) as shown on the attached Schedule A.

1. TOPIC DEFINED

Executive Summary

The applicants would like to rezone a portion of Pt NE 34-47-5-W5M from Agricultural (AG) to Agricultural Holdings (AGH) as shown on the attached Schedule A to accommodate a subdivision application creating a parcel for future residential and agricultural use.

The property is located immediately south of Highway 616, from which both the proposed Lot 1 and the remnant parcel will have access.

Relevant Policy:

The subject property does not fall within any Intermunicipal Development Plan or Area Structure Plan. The number of lots created per quarter section is not exceeding the Municipal Development Plan threshold of four lots per quarter section, after which an ASP is required.

Strategic Relevance:

Allows for the holding of a Public Hearing for the proposed amendment and the possibility of allowing the proposed subdivision.

The Public Hearing for Bylaw 1199-25 will be scheduled for 10:00 am on February 18, 2025.

2. **ANALYSIS OF RECOMMENDED ACTION**

That Council give First Reading to Bylaw 1199-25 proposing a portion of Pt NE 34-47-5-W5M [± 5.06 ac (± 2.05 ha)] be rezoned from Agricultural (AG) to Agricultural Holdings (AGH) as shown on the attached Schedule A.

Advantages	Disadvantages
<ul style="list-style-type: none">• Allows for the proposed amendment to be presented within a Public Hearing.• If passed, the amendment will allow the potential approval of a subdivision which adheres to Brazeau County Plans and Regulations.• Ensures that the proposed subdivision, if approved, will conform to the zoning districts set within the current Land Use Bylaw.	<ul style="list-style-type: none">• None Identified.

3. **IMPLICATIONS OF RECOMMENDATION**

Operational:

No Impact

Financial:

No Impact

Attachments:

Appendix A: Land Location Map

Appendix B: Aerial Photograph

Appendix C: Application Form

Appendix D: Bylaw 1199-25

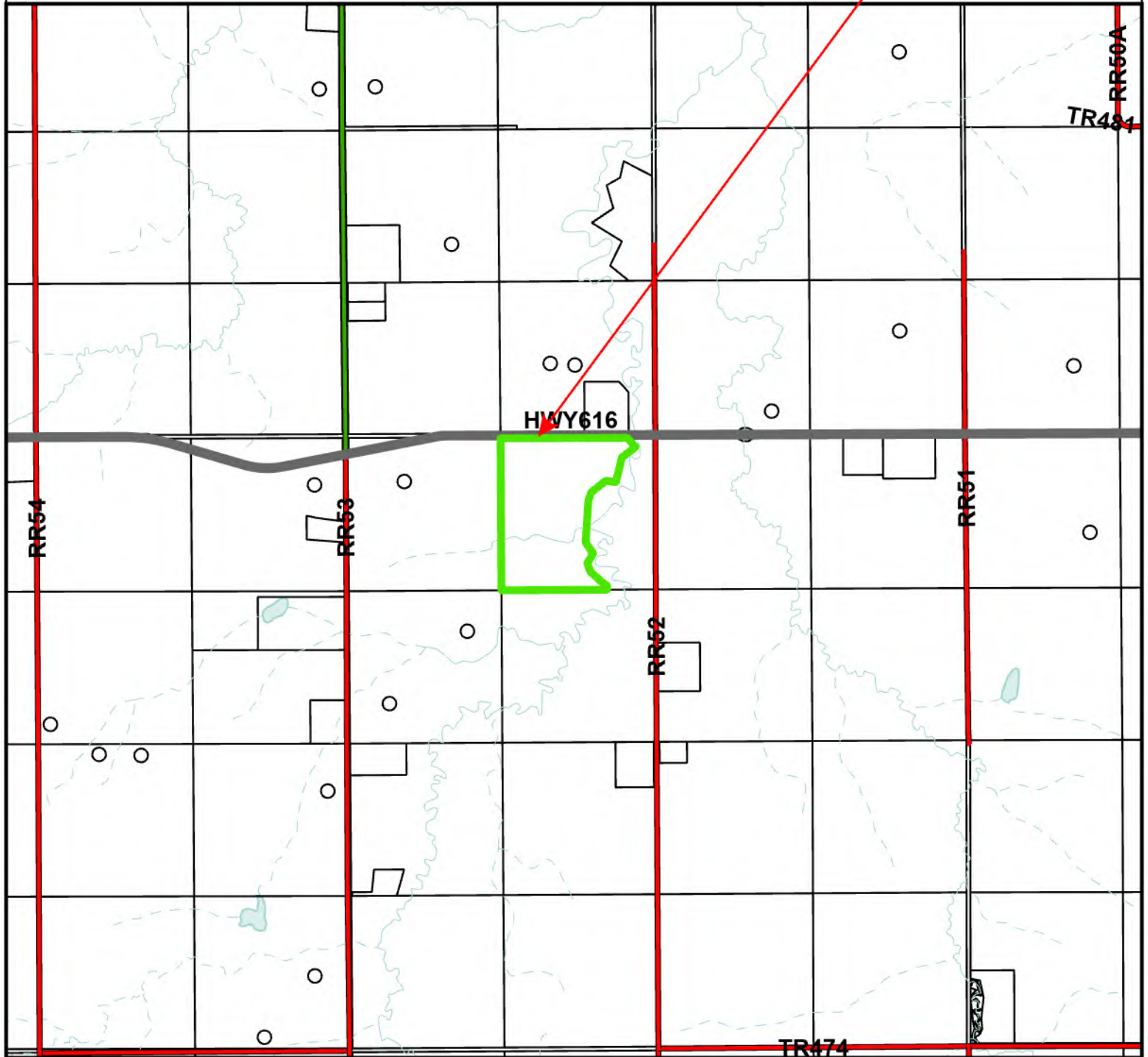
Appendix E: Relevant Legislation

Appendix F: Zoning District - Agricultural Holdings (AGH)

Land Location Map


Municipal Address:
5215 Hwy 616

Pt NE 34-47-5-W5M




Aerial with Wells, Pipelines & ROWs

Pt NE 34-47-5-W5M

Municipal Address:
5215 Hwy 616Current Zoning:
AG to AGH Subject Parcel





Planning Features

 Proposed Subdivision ROW

AER

 AER Wells

AER Pipelines

 Abandoned Discontinued Operating Permitted Removed <all other values>

2023 IMAGERY

Scale: 1:4,657



PRODUCED BY BRAZEAU COUNTY

This map is intended for advisory purposes only. It is based upon data deemed reliable but Brazeau County is not responsible for errors or omissions. Accuracy of the cadastral fabric is +/- 3m in rural areas.

Projection:
NAD 83 UTM 11N GCS80

HWY616

RR52



Appendix C

APPLICATION TO AMEND THE LAND USE BYLAW

For office use only	
Date of receipt	File number
Dec 9/24	24A-014
Roll #	Accepted by
005486	SL

Prior to submission of this application form, you are required to have at least one pre-application meeting with the Planning and Development Department. If you still need to have this meeting, please call 780-542-7777 to make arrangements. This form should be completed in full by the registered owner(s) of the land that is the subject of the application or by a person authorized to act on the registered landowner's behalf and submitted to the Brazeau County office together with the following documents:

- ☐ A copy of the Certificate of Title – not older than two weeks, at the time the application is submitted ***for mapping amendments only***
- ☐ A Sketch – with sufficient measurements of the portion of land subject to be rezoned/redistricted, the proposed accesses, physical features and developments on the subject land and other relevant information registered on the title ***for mapping amendments only***
- ☐ The Application Fee – as per current Schedule of Fees.
- ☐ A Letter of Authorization – Authorization from the land owners(s) for an individual to act on their behalf.
- ☐ Additional information may be submitted by adding a letter or sketch, etc.

1. Purpose of Application:

- ☐ Amend LUB text Complete sections 1, 2, 3 (if required), 6 & 8
- ☐ Amend LUB maps/zoning Complete sections 1,2,3 (if required), 4, 5, 7 & 8

2. Contact Information:

Name and mailing address of the landowner(s)

SCOTT + PATRICIA

[Redacted address]

Email:

Phone:

Cell:

Fax:

**Document redacted
in accordance with
FOIP: s.17(4)(g)**

3. Name and mailing address of the applicant(s)

- ☒ Please check if same as landowner

[Redacted applicant address]

P/C

Email:

Phone:

Cell:

Fax:

4. Legal description and of subject lands to be rezoned/redistricted

a. All/part of the N/E 34 47 5 W5M
¼ Section Section Township Range

b. All/part of _____
Lot Block Plan

c. Area of parcel in hectares (acres): 7 - 5 Acres (+/- 2.049 ha)

5. Existing and proposed land uses

- a. Existing land use zoning/district (as per the current Land Use Bylaw): RESIDENTIAL (AG)
- b. Proposed land use zoning/district (as per the current Land Use Bylaw): Agricultural Holding (AGH)
- c. Existing use of the land/buildings (i.e. res, comm etc.): Agricultural / RESIDENTIAL
- d. Proposed use of the land/buildings (i.e. res, comm, etc): Agricultural / Residential

- e. Existing means of providing water/sewer services: WELL + NEW SEPTIC SYSTEM
- f. If subdivision is considered, describe the proposed means of providing water/sewer services to the portion of land being redistricted: WELL + SEPTIC SYSTEM

g. Does this application precede an application for subdivision? Yes ☒ No ☐

6. Land Use Bylaw text amendment details

- a. Section(s) of Land Use Bylaw to be amended: _____
- b. Current wording of section: _____

- c. Proposed wording of section: _____

- d. Reasons for amendment: _____

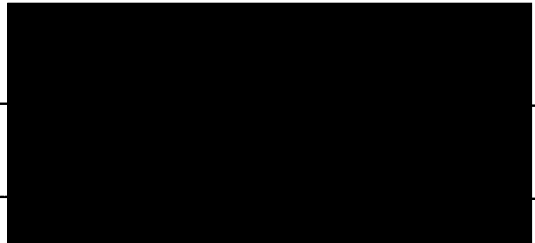
7. Right of Entry Authorization

I/We, Scott DAVIS give my/our consent for Right of Entry to my/our lands
print name

which are subject of this application.

Nov 14 / 2024
Date

Nov 14 / 2024
Date



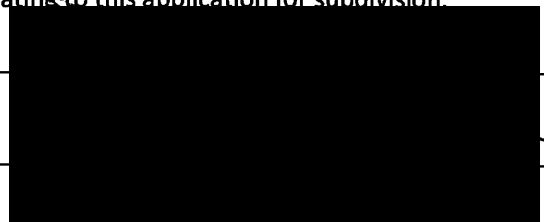
8. Owner(s) Signatures

I/We, Scott + PATRICIA hereby certify that I/we am/are the registered
print name

owner(s) of the lands and that the information given on this form is full and complete and is, to the best of my/our knowledge, a true statement of the facts relating to this application for subdivision.

Nov 14 / 2024
Date

Nov 14 / 2024
Date



Appendix D

BRAZEAU COUNTY

BYLAW NO: 1199-25

BEING A BYLAW OF BRAZEAU COUNTY, IN THE PROVINCE OF ALBERTA, TO AMEND LAND USE BYLAW NO. 1002-18, AS AMENDED

WHEREAS, Council of Brazeau County deems it expedient and proper, under the authority of and in accordance with the *Municipal Government Act*, RSA 2000, Chapter M-26 and amendments thereto, to make certain amendments to Land Use Bylaw No. 1002-18, as amended; and

WHEREAS, the public participation requirements of Section 692 of the *Municipal Government Act*, RSA 2000, Chapter M-26, have been complied with;

NOW THEREFORE, the Council of Brazeau County, duly assembled, enacts as follows:

1. That, a portion of Pt NE 34-47-5-W5M, be re-designated from Agricultural District (AG) to Agricultural Holdings District (AGH), as shown on the attached Schedule 'A' ("the Lands"); and
2. That this Bylaw shall take effect upon the final passing thereof.

READ a first time this ____ day of _____, 2025,

READ a second time this ____ day of _____, 2025,

READ a third time and finally passed this ____ day of _____, 2025.

Reeve

Chief Administrative Officer



Schedule A

Bylaw 1199-25

File: 24A-014

Rezoning Area

AG to AGH

Pt NE 34-47-5-W5M

+/- 5.06 ac (+/- 2.05 ha)

Shown Thus



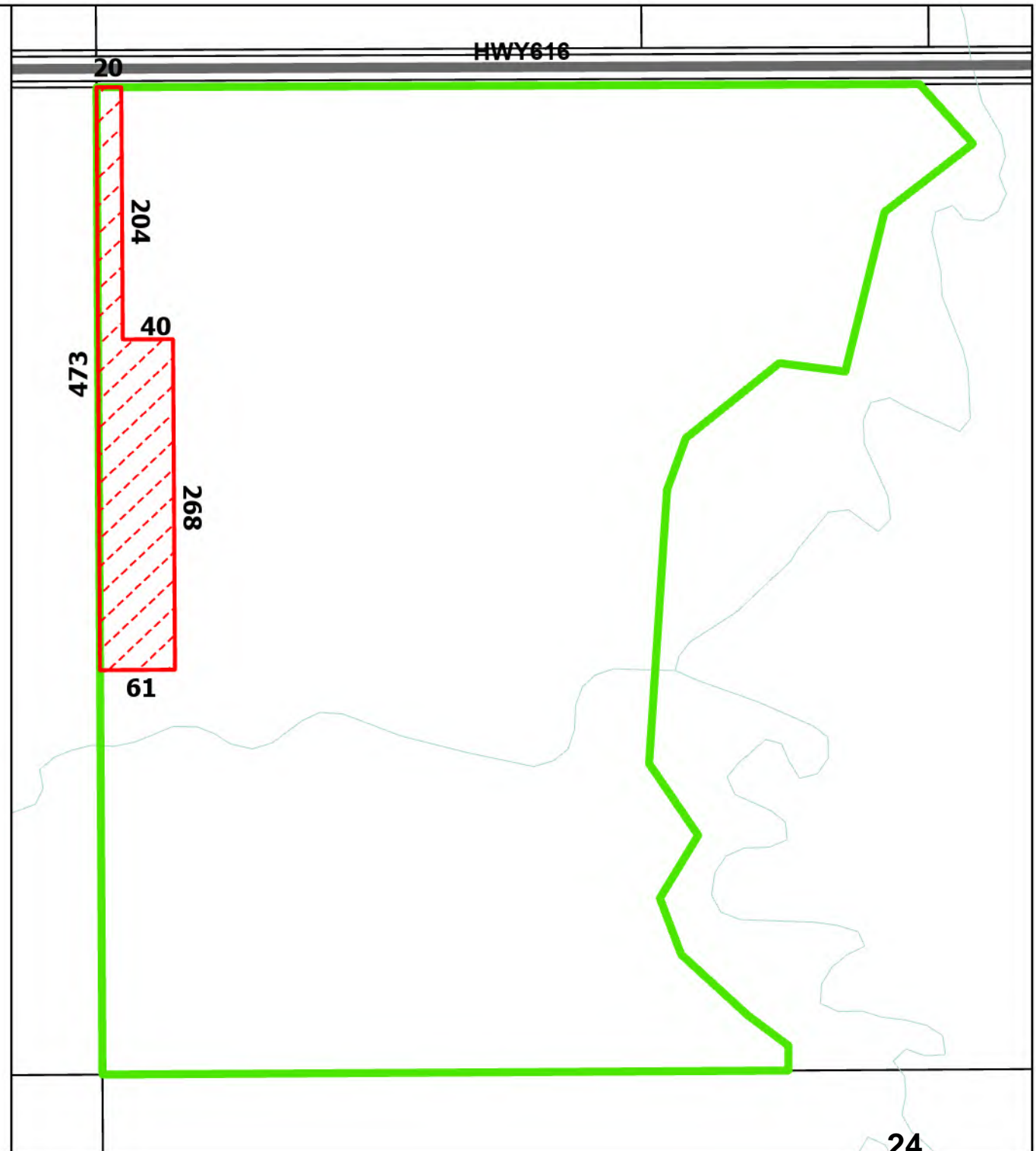
Note: All measurements are
+/- and in metres

Scale: 1:4,666

PRODUCED BY BRAZEAU COUNTY

This map is intended for advisory purposes only. It is based upon data deemed reliable but Brazeau County is not responsible for errors or omissions. Accuracy of the cadastral fabric is +/- 3m in rural areas.

Projection:
NAD 83 UTM 11N GCS80



Appendix E

Relevant Legislation

Municipal Development Plan

Subject lands are designated as Agriculture and Rural Development in Figure 4 – Future Land Use Strategy in the MDP.

Policy 1: Brazeau County supports existing agricultural operations and their right to farm.

Policy 2: Brazeau County supports the preservation of lands identified in this plan as Agriculture and Rural Development for agricultural, rural residential and rural resource use.

Policy 5: Brazeau County shall encourage the consolidation of properties previously subdivided for non-agricultural land uses for future agricultural development if the land can safely and effectively accommodate the proposed use.

Policy 6: Brazeau County shall discourage intrusive and/or incompatible land uses in predominately agricultural areas of the County in order to minimize potential land use conflicts.

Policy 10: Brazeau County shall consider the following criteria when evaluating land use and development applications that propose to subdivide lands within the Agriculture and Rural Development designation:

- The quality of local soil conditions for agricultural production as determined by AGRASID, or an individual soil test conducted by a qualified professional that may have been completed on the subject lands;
- The presence of significant impediments to the practical use of the subject land for agricultural production including, but not limited to, rocks, vegetation, topography and water bodies;
- The capability of the land to support the proposed development including the identification and evaluation of onsite hazards or geotechnical conditions;
- The potential impact of the proposed development on adjacent lands, municipal services and infrastructure, and the natural environment;
- The compatibility of the proposed development with adjacent land uses and rural character of the surrounding area;
- The potential constraints the proposed development may have on existing or planned commercial or industrial developments;
- The location of existing or planned natural resource extraction facilities that may represent a safety concern; and
- The availability and adequacy of water and sanitary servicing options to support the proposed development.

Policy 12: Brazeau County may require that, with the exception of the remnant parcel, or parcels created for future agricultural development, all new parcels created on a quarter section for residential purposes shall be a minimum of one acre in area, and a maximum of four acres in area.

Policy 16: Brazeau County shall require parcels for the subdivision of agricultural lands to incorporate the location or potential location of existing clusters of residential parcels on adjacent quarter sections to create residential nodes at roadway intersections in order to maximize the delivery of infrastructure and services.

Policy 17: Brazeau County shall require that all subdivided parcels on a quarter section be contiguous, unless separated by a significant permanent feature.

10.2 AGH - Agricultural Holdings

Purpose

- 10.2.1 The purpose and intent of the Agricultural Holdings District is to provide for a residential use on parcels which can accommodate residential, traditional agricultural pursuits, home occupation uses, and larger accessory structures. It also recognizes the emerging trends towards new agricultural uses which may be successfully developed on smaller parcels of land.



District Characteristics

- 10.2.2 The following uses shall be permitted or discretionary with or without conditions provided the application complies with the regulations of this district and this Bylaw.

Permitted Uses	Discretionary Uses
Accessory Structure	Agricultural, Support Service
Accessory Use	Animal Service Facility
Agricultural Intensive Class 2	Contracting Services, Minor
Agricultural, Extensive	Day Care Home
Bed and Breakfast	Guest Ranch
Cabin	Home Occupation, Major
Dwelling, Single-Detached	Outdoor Storage
Dwelling, Tiny	Outdoor Storage, Temporary
Group Home	Places of Worship
Home Occupation, Medium	Social Care Facility
Home Occupation, Minor	Taxidermy
Manufactured Home	
Park	
Public and Quasi-Public Use	
Public Utility Facility	
Secondary Suite	
Surveillance Suite	

Permitted Uses	Discretionary Uses
Surveillance Suite, Temporary	

10.2.3 Development Regulations:

Item	Regulation
Parcel Area	Min. 1.62 ha (4 ac) Max. 6.07 ha (14.99 ac)
Parcel Width	Min. 30.5 m (100 ft) 10.1 m (33 ft) frontage for the access of a panhandle/flag lot
Front Yard Setback	Min. 10.1 m (33 ft) where abutting an internal road 25 m (82 ft) where abutting a County road where road widening has not been dedicated 20.1 m (66 ft) where abutting a County road where road widening has been dedicated 40 m (131 ft) where abutting a highway Setback at the discretion of Development Authority for pan handle/flag lots

Item	Regulation
Rear Yard Setback	Min. 8 m (26 ft) 10.1 m (33 ft) where abutting an internal road 25 m (82 ft) where abutting a County road where road widening has not been dedicated 20.1 m (66 ft) where abutting a County road where road widening has been dedicated 40 m (131 ft) where abutting a highway
Side Yard Setback	Min. 6.1 m (20 ft) 10.1 m (33 ft) where abutting an internal road 25 m (82 ft) where abutting a County road where road widening has not been dedicated 20.1 m (66 ft) where abutting a County road where road widening has been dedicated 40 m (131 ft) where abutting a highway
Floor Area	Min. 74.3 m ² (800 ft ²) minimum for a dwelling

Item	Regulation
	Max. 74.2 m ² (799 ft ²) maximum for a Cabin

**BRAZEAU COUNTY
BANK RECONCILIATION
General Account - TD Bank**

As of Nov 30, 2024

	30-Nov-24	30-Nov-23
General Ledger Balance		
General Ledger Account # 03-12-00-120	\$ 799,595.23	\$ 6,926,632.83
ADD: Pending General Ledger Posting for Adjustment (Adjustment will be posted to General Ledger on posting of bank reconciliation)	\$ (21,099.96)	
LESS/Add: General Ledger Posting in subsequent period and timing adjustment	\$ 21,099.96	\$ (3,200.00)
LESS: Adjustment entry		
Adjusted General Ledger Balance	<u>\$ 799,595.23</u>	<u>\$ 6,923,432.83</u>

Bank Statement Balance	\$ 1,102,719.74	\$ 7,113,171.18
ADD: Outstanding Deposits (Transit amounts which will be credited in bank statement next month)	\$ 463,919.07	\$ 10,701.67
LESS: Outstanding Cheques (Cheques issued but not presented to bank for payments)	\$ (767,043.58)	\$ (200,440.02)
LESS: Adjustment entry		
Adjusted Bank Statement Balance	<u>\$ 799,595.23</u>	<u>\$ 6,923,432.83</u>

Difference -

Approved by:


Colin Swap
Director of Corporate Services

Date: 17-Dec-24

2:35:00 PM

**BRAZEAU COUNTY
BANK RECONCILIATION
General Account - TD Bank**

As of Oct 31, 2024

	31-Oct-24	31-Oct-23
General Ledger Balance		
General Ledger Account # 03-12-00-120	\$ 2,616,015.01	\$ 6,796,336.90
ADD: Pending General Ledger Posting for Adjustment (Adjustment will be posted to General Ledger on posting of bank reconciliation)	\$ 761.00	
LESS/Add: General Ledger Posting in subsequent period and timing adjustment	\$ (311.00)	\$ (3,200.00)
LESS: Adjustment entry		
Adjusted General Ledger Balance	\$ 2,616,465.01	\$ 6,793,136.90

Bank Statement Balance	\$ 2,950,376.70	\$ 7,210,191.93
ADD: Outstanding Deposits (Transit amounts which will be credited in bank statement next month)	\$ 387.54	\$ 753.00
LESS: Outstanding Cheques (Cheques issued but not presented to bank for payments)	\$ (334,299.23)	\$ (417,808.03)
LESS: Adjustment entry		
Adjusted Bank Statement Balance	\$ 2,616,465.01	\$ 6,793,136.90


Difference

Approved by:


Colin Swap
Director of Corporate Services

Date: 16-Dec-24

10:59:00 AM

BRAZEAU COUNTY REQUEST FOR COUNCIL DECISION		
SUBJECT:	Setting Tax Recovery Sale Reserve Bids	
DATE TO COUNCIL:	January 13, 2025	
SUBMITTED BY:	J. Hartman, Tax and Assessment Coordinator	
ENDORSED BY:	C. Swap, Director of Corporate Services	
REVIEWED BY CAO:	R. Friesen, CAO	
FILE NO:		

RECOMMENDED ACTIONS:

That council establish the reserve bids as recommended by Accurate Assessment Group Ltd. on each property up for tax sale.

1. TOPIC DEFINED

Executive Summary

The Tax Recovery Sale is set for February 12, 2025. As part of the process, council is required to set a reserve bid for each property. Brazeau County's assessors have given their opinion of value on the properties, which are attached for Council's consideration.

Relevant Policy:

MGA S. 419(a)

Strategic Relevance:

To ensure we are following regulations as set out under the MGA.

2. **ANALYSIS OF RECOMMENDED ACTION**

That council establish the reserve bids as recommended by Accurate Assessment Group Ltd. on each property up for tax sale.

Advantages	Disadvantages
<ul style="list-style-type: none">- Move forward with the Tax Recovery Process	<ul style="list-style-type: none">- Failing to follow requirements as set out in the MGA

3. **IMPLICATIONS OF RECOMMENDATION**

Operational:

Administration will move forward with required advertising.

Financial:

N/A

Attachments:

Tax Recovery Opinions



Date: January 5, 2025

Attention: Jennaka Hartman

As per the email request dated December 17th, 2024 regarding tax recovery properties, we have prepared an *opinion of value* on the subject properties. The assessment data was relied upon for inventory accuracy. Assuming the exterior condition of the residences reflect the interior condition and assuming there are not any problems or abnormalities, structural, physical, environmental or otherwise, the following figures represent an ***opinion of value*** as of January 3rd, 2025. Any timber, mineral, riparian or commodity value(s) or easement/lease revenue(s) that may exist on the subject properties have not been factored into the valuations. In most instances, the assessment information on file and the most recent historical assessment inspection is heavily relied upon, believed to be correct, and is used to support the site-specific opinions.

Roll# 000447 Plan 3893MC – Blk 3 – Lot 17 **Opinion = \$440,000**
- 1.07 acre serviced parcel
-2400 sqft 1982 rigid frame warehouse

Roll# 001878 SE-26-50-8-5 **Opinion = \$290,000**
- 3.13 acre serviced parcel
-1448 sqft 1971 built single-story basementless single-family dwelling
-1152 sqft 1981 wood framed warehouse

Roll# 002052 Plan 9825395 – Blk 12 – Lot 35 **Opinion = \$230,000**
- 12,000 sqft serviced parcel
- 2344 sqft 1988 built single-story basementless single-family dwelling

Roll# 002087 Plan 9820064 – Blk 16 – Lot 15A **Opinion = \$11,000**
- 17,330 sqft unserviced vacant parcel

Roll# 003226 Plan 1989KS Blk 15 Lot 22 & 23 **Opinion = \$60,000**
- 16,000 sqft serviced parcel
- 1957 built tavern-style hotel

Roll# 006003 NE-34-47-6-5 **Opinion = \$450,000**
- 158.70 acre serviced parcel
- 4092 sqft 2009 built manufactured home with additions
- mics. out buildings

Roll# 007374 Plan 1422486 – Blk 3 – Lot 24
- 5.12 acre serviced parcel
-1200 sqft 2011 frame & fabric warehouse
- security fenced

Opinion = \$360,000

Roll# 008929 Plan 0321351 – Blk 2 – Lot 2
- 2.62 acre unserviced vacant parcel


Opinion = \$100,000

Roll# 010376 Plan 0828721 – Blk 1 – Lot 2
- 4.99 acre unserviced parcel
- 512 sqft 2015 built cottage
- 256 sqft 2015 built cottage

Opinion = \$125,000

Regards,

Bob Daudelin, AMAA
Accurate Assessment Group

BRAZEAU COUNTY REQUEST FOR COUNCIL DECISION		
SUBJECT:	2024 Provincial Education Requisition Credit (PERC) program	
DATE TO COUNCIL:	January 13, 2025	
SUBMITTED BY:	J. Hartman, Tax and Assessment Coordinator	
ENDORSED BY:	C. Swap, Director of Corporate Services	
REVIEWED BY CAO:	R. Friesen, CAO	
FILE NO:		

RECOMMENDED ACTIONS:

That Administration submit an application under the Provincial Education Requisition Credit program in the amount of \$50,309.31

1. TOPIC DEFINED

Executive Summary

The Provincial Education Requisition Credit program provides municipalities with a credit equal to the provincial education requisition amount that has been paid on behalf of properties delinquent in the payment of property taxes.

In previous years of this program municipalities were required to write off the taxes as a whole from the property taxes receivables account in order to receive the education credit. Since 2021/22 this is no longer be a requirement and it is expected that municipalities will continue their efforts to collect any outstanding property taxes. If payments are made on properties submitted in the application, the education portion must be remitted back to the province.

Relevant Policy:

N/A

Strategic Relevance:

To allow Brazeau County to apply for a Provincial Education Requisition Credit in the amount Of \$50,309.31.

2. **ANALYSIS OF RECOMMENDED ACTION**

That Administration submit an application under the Provincial Education Requisition Credit program in the amount of \$50,309.31.

Advantages	Disadvantages
<ul style="list-style-type: none">- Opportunity to recoup the school requisition portion of the unpaid taxes through the PERC credit.	<ul style="list-style-type: none">- No Disadvantages

3. **IMPLICATIONS OF RECOMMENDATION**

Operational:

If Council approves the recommendation, Administration will submit the application.

Financial:

If Council approves the recommendation Brazeau County will receive a \$50,309.31 Educational Requisition Credit to be put against next year's payments.

Attachments:

N/A

**Provincial Education Requisition Credit (PERC)
for Uncollectable Education Property Taxes on Oil and Gas Properties
and Designated Industrial Requisition Credit (DIRC)
for Uncollectable DI Property Tax Requisitions
Property Details Form**

Municipality	
Brazeau County	

Property Details Form Instructions

Information for each individual property should be listed on a separate row.
For linear properties, detailed information on all wells or pipelines associated with each company should be reported separately.

Complete the Fields Below for Each Individual Property

Tax Year	Roll #	DIPAUID/ LPAUID #	Company Name	Non-Residential Property Type	Assessment Value	Local ASFF Tax Rate	Total Education Property Tax Notice Amount	SGTRI Credit	Total Education Property Tax Eligible for PERC	Education Property Tax Amount Collected	Education Property Tax Uncollectable Amount	DI Requisition Tax Rate	Total DI Requisition Tax Amount	DI Amount Collected	DI Uncollectable Amount	Has this tax been written off?
2018	006530	1091807	Tallahassee Exploration Inc.	DIP-Non-Linear(Mach & Equip)	\$ 296,610.00		\$0.00		\$0.00	\$0.00	\$0.00	0.034	\$10.08		\$10.08	No
2018	006530	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 71,420.00	3.757	\$268.32		\$268.32	\$268.32	\$0.00	0.034	\$2.43		\$2.43	No
2019	006530	1091807	Tallahassee Exploration Inc.	DIP-Non-Linear(Mach & Equip)	\$ 296,610.00		\$0.00		\$0.00	\$0.00	\$0.00	0.078	\$23.14		\$23.14	No
2019	006530	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 72,080.00	3.599	\$259.42		\$259.42	\$259.42	\$0.00	0.078	\$5.62		\$5.62	No
2020	006530	1091807	Tallahassee Exploration Inc.	DIP-Non-Linear(Mach & Equip)	\$ 298,710.00		\$0.00		\$0.00	\$0.00	\$0.00	0.076	\$22.70		\$22.70	No
2020	006530	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 70,430.00	3.777	\$266.01		\$266.01	\$266.01	\$0.00	0.076	\$5.35		\$5.35	No
2021	006530	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 22,750.00	4.01	\$91.23		\$91.23	\$91.23	\$0.00	0.076	\$1.73		\$1.73	No
2022	006530	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 22,430.00	3.777	\$84.72		\$84.72	\$84.72	\$0.00	0.076	\$1.70		\$1.70	No
2023	006530	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 22,600.00	3.442	\$77.79		\$77.79	\$77.79	\$0.00	0.074	\$1.67		\$1.67	No
2024	006530	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 22,610.00	3.579	\$80.92		\$80.92	\$80.92	\$0.00	0.076	\$1.72		\$1.72	No
2018	006535	1138906	Anterra Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 30,980.00	3.757	\$116.39		\$116.39	\$116.39	\$116.39	0.034	\$1.05		\$1.05	No
2019	006535	1138906	Anterra Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 30,850.00	3.599	\$111.03		\$111.03	\$111.03	\$111.03	0.078	\$2.41		\$2.41	No
2020	006535	1138906	Anterra Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 30,930.00	3.777	\$116.82		\$116.82	\$116.82	\$116.82	0.076	\$2.35		\$2.35	No
2021	006535	1138906	Anterra Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 8,240.00	4.01	\$33.04		\$33.04	\$33.04	\$33.04	0.076	\$0.63		\$0.63	No
2018	006536	1138906	Anterra Energy Inc.	DIP-Non-Linear(Mach & Equip)	\$ 126,890.00		\$0.00		\$0.00	\$0.00	\$0.00	0.034	\$4.31		\$4.31	No
2018	006536	1138906	Anterra Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 44,320.00	3.757	\$166.51		\$166.51	\$166.51	\$166.51	0.034	\$1.51		\$1.51	No
2019	006536	1138906	Anterra Energy Inc.	DIP-Non-Linear(Mach & Equip)	\$ 126,420.00		\$0.00		\$0.00	\$0.00	\$0.00	0.078	\$9.86		\$9.86	No
2019	006536	1138906	Anterra Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 44,150.00	3.599	\$158.90		\$158.90	\$158.90	\$158.90	0.078	\$3.44		\$3.44	No
2020	006536	1138906	Anterra Energy Inc.	DIP-Non-Linear(Mach & Equip)	\$ 127,290.00		\$0.00		\$0.00	\$0.00	\$0.00	0.076	\$9.67		\$9.67	No
2020	006536	1138906	Anterra Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 43,410.00	3.777	\$163.96		\$163.96	\$163.96	\$163.96	0.076	\$3.30		\$3.30	No
2021	006536	1138906	Anterra Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 23,800.00	4.01	\$95.44		\$95.44	\$95.44	\$95.44	0.076	\$1.81		\$1.81	No
2022	006536	1138906	Anterra Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 23,800.00	3.777	\$89.89		\$89.89	\$89.89	\$89.89	0.076	\$1.81		\$1.81	No
2023	006536	1138906	Anterra Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 24,780.00	3.442	\$85.29		\$85.29	\$85.29	\$85.29	0.074	\$1.83		\$1.83	No
2024	006536	1138906	Anterra Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 24,570.00	3.579	\$87.94		\$87.94	\$87.94	\$87.94	0.076	\$1.87		\$1.87	No
2021	007042	1129759	Petro Buyers Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 10,350.00	4.01	\$41.50		\$41.50	\$41.50	\$41.50	0.076	\$0.79		\$0.79	No
2022	007042	1129759	Petro Buyers Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 10,300.00	3.777	\$38.90		\$38.90	\$38.90	\$38.90	0.078	\$0.80		\$0.80	No
2018	007145	1950921	Shanpet Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 7,300.00	3.757	\$27.43		\$27.43	\$27.43	\$27.43	0.034	\$0.25		\$0.25	No
2019	007145	1950921	Shanpet Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 7,430.00	3.599	\$26.74		\$26.74	\$26.74	\$26.74	0.078	\$0.58		\$0.58	No
2020	007145	1950921	Shanpet Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 7,180.00	3.777	\$27.12		\$27.12	\$27.12	\$27.12	0.076	\$0.55		\$0.55	No
2021	007145	1950921	Shanpet Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 7,170.00	4.01	\$28.75		\$28.75	\$28.75	\$28.75	0.076	\$0.54		\$0.54	No
2022	007145	1950921	Shanpet Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 2,850.00	3.777	\$10.76		\$10.76	\$10.76	\$10.76	0.076	\$0.22		\$0.22	No
2023	007145	1950921	Shanpet Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 2,880.00	3.442	\$9.91		\$9.91	\$9.91	\$9.91	0.074	\$0.21		\$0.21	No
2024	007145	1950921	Shanpet Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 4,760.00	3.579	\$17.04		\$17.04	\$17.04	\$17.04	0.076	\$0.36		\$0.36	No
2018	007167	1091807	Tallahassee Exploration Inc.	DIP-Non-Linear(Mach & Equip)	\$ 333,410.00		\$0.00		\$0.00	\$0.00	\$0.00	0.034	\$11.34		\$11.34	No
2018	007167	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 70,030.00	3.757	\$263.10		\$263.10	\$263.10	\$263.10	0.034	\$2.38		\$2.38	No
2019	007167	1091807	Tallahassee Exploration Inc.	DIP-Non-Linear(Mach & Equip)	\$ 327,040.00		\$0.00		\$0.00	\$0.00	\$0.00	0.078	\$25.51		\$25.51	No
2019	007167	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 70,710.00	3.599	\$254.49		\$254.49	\$254.49	\$254.49	0.078	\$5.52		\$5.52	No
2020	007167	1091807	Tallahassee Exploration Inc.	DIP-Non-Linear(Mach & Equip)	\$ 322,950.00		\$0.00		\$0.00	\$0.00	\$0.00	0.076	\$24.54		\$24.54	No
2020	007167	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 69,190.00	3.777	\$261.33		\$261.33	\$261.33	\$261.33	0.076	\$5.26		\$5.26	No
2021	007167	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 68,560.00	4.01	\$274.93		\$274.93	\$274.93	\$274.93	0.076	\$5.21		\$5.21	No
2022	007167	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 33,300.00	3.777	\$125.77		\$125.77	\$125.77	\$125.77	0.076	\$2.53		\$2.53	No
2023	007167	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 33,840.00	3.442	\$116.48		\$116.48	\$116.48	\$116.48	0.074	\$2.50		\$2.50	No
2024	007167	1091807	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 24,230.00	3.579	\$86.72		\$86.72	\$86.72	\$86.72	0.076	\$1.84		\$1.84	No
2018	007383	1962921	HBC Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$ 72,020.00		\$0.00		\$0.00	\$0.00	\$0.00	0.034	\$2.45		\$2.45	No
2018	007383	1962921	HBC Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 6,180.00	3.757	\$23.22		\$23.22	\$23.22	\$23.22	0.034	\$0.21		\$0.21	No
2019	007383	1962921	HBC Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$ 71,290.00		\$0.00		\$0.00	\$0.00	\$0.00	0.078	\$5.56		\$5.56	No
2019	007383	1962921	HBC Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 6,280.00	3.599	\$22.60		\$22.60	\$22.60	\$22.60	0.078	\$0.49		\$0.49	No
2020	007383	1962921	HBC Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$ 71,070.00		\$0.00		\$0.00	\$0.00	\$0.00	0.076	\$5.40		\$5.40	No
2020	007383	1962921	HBC Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 6,150.00	3.777	\$23.23		\$23.23	\$23.23	\$23.23	0.076	\$0.47		\$0.47	No
2021	007383	1962921	HBC Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$ 70,710.00		\$0.00		\$0.00	\$0.00	\$0.00	0.076	\$5.37		\$5.37	No
2021	007383	1962921	HBC Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 6,130.00	4.01	\$24.58		\$24.58	\$24.58	\$24.58	0.076	\$0.47		\$0.47	No
2022	007383	1962921	HBC Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 6,070.00	3.777	\$22.93		\$22.93	\$22.93	\$22.93	0.076	\$0.46		\$0.46	No
2023	007383	1962921	HBC Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 2,450.00	3.442	\$8.43		\$8.43	\$8.43	\$8.43	0.074	\$0.18		\$0.18	No
2024	007383	1962921	HBC Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$ 77,370.00		\$0.00		\$0.00	\$0.00	\$0.00	0.076	\$5.88		\$5.88	No
2024	007383	1962921	HBC Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 6,060.00	3.579	\$21.69		\$21.69	\$21.69	\$21.69	0.076	\$0.46		\$0.46	No
2020	007584	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 3,410.00	3.777	\$12.88		\$12.88	\$12.88	\$12.88	0.076	\$0.26		\$0.26	No
2021	007584	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 3,410.00	4.01	\$13.67		\$13.67	\$13.67	\$13.67	0.076	\$0.26		\$0.26	No
2022	007584	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 3,400.00	3.777	\$12.84		\$12.84	\$12.84	\$12.84	0.076	\$0.26		\$0.26	No
2023	007584	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 3,380.00	3.442	\$11.63		\$11.63	\$11.63	\$11.63	0.074	\$0.25		\$0.25	No
2024	007584	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 3,360.00	3.579	\$12.03		\$12.03	\$12.03	\$12.03	0.076	\$0.26		\$0.26	No
2018	007747		Tallgrass Energy Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 8,940.00	3.757	\$33.59		\$33.59	\$33.59	\$33.59	0.034	\$0.30		\$0.30	No
2019	007747		Tallgrass Energy Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$ 9,050.00	3.599	\$32.57		\$32.57	\$32.57	\$32.57	0.078	\$0.71		\$0.71	No

2020	007747		Tallgrass Energy Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$	8,830.00	3.777	\$33.35		\$33.35		\$33.35	0.076	\$0.67		\$0.67	No
2021	007747		Tallgrass Energy Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,500.00	4.01	\$14.04		\$14.04		\$14.04	0.076	\$0.27		\$0.27	No
2022	007747		Tallgrass Energy Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,550.00	3.777	\$13.41		\$13.41		\$13.41	0.076	\$0.27		\$0.27	No
2023	007747		Tallgrass Energy Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,560.00	3.442	\$12.25		\$12.25		\$12.25	0.074	\$0.26		\$0.26	No
2024	007747		Tallgrass Energy Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,510.00	3.579	\$12.56		\$12.56		\$12.56	0.076	\$0.27		\$0.27	No
2024	007748	2010017	Outpost Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$	103,640.00		\$0.00		\$0.00		\$0.00	0.076	\$7.88		\$7.88	No
2024	007748	2010017	Outpost Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	17,170.00	3.579	\$61.45		\$61.45		\$61.45	0.076	\$1.30		\$1.30	No
2020	007749	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	25,260.00	3.777	\$95.41		\$95.41		\$95.41	0.076	\$1.92		\$1.92	No
2021	007749	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,030.00	4.01	\$40.22		\$40.22		\$40.22	0.076	\$0.76		\$0.76	No
2022	007749	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,000.00	3.777	\$37.77		\$37.77		\$37.77	0.076	\$0.76		\$0.76	No
2023	007749	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,030.00	3.442	\$34.52		\$34.52		\$34.52	0.074	\$0.74		\$0.74	No
2024	007749	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	9,990.00	3.579	\$35.75		\$35.75		\$35.75	0.076	\$0.76		\$0.76	No
2024	08213	1132099	Pulse Oil Operating Corp.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,160.00	3.579	\$39.94		\$39.94		\$39.94	0.076	\$0.85		\$0.85	No
2024	08817	1865004	Outpost Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$	78,470.00		\$0.00		\$0.00		\$0.00	0.076	\$5.96		\$5.96	No
2024	08817	1865004	Outpost Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,260.00	3.579	\$40.30		\$40.30		\$40.30	0.076	\$0.86		\$0.86	No
2024	08857	1865004	HBC Energy Inc.	DIP-Non-Linear(Mach & Equip)	\$	32,550.00		\$0.00		\$0.00		\$0.00	0.076	\$2.47		\$2.47	No
2024	08857	1865004	HBC Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	8,120.00	3.579	\$29.06		\$29.06		\$29.06	0.076	\$0.62		\$0.62	No
2023	08857	1865004	HBC Energy Inc.	DIP-Non-Linear(Mach & Equip)	\$	32,250.00		\$0.00		\$0.00		\$0.00	0.074	\$2.39		\$2.39	No
2023	08857	1865004	HBC Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	8,190.00	3.442	\$28.19		\$28.19		\$28.19	0.074	\$0.61		\$0.61	No
2020	09327	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	8,820.00	3.777	\$33.31		\$33.31		\$33.31	0.076	\$0.67		\$0.67	No
2021	09327	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,500.00	4.01	\$14.04		\$14.04		\$14.04	0.076	\$0.27		\$0.27	No
2022	09327	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,490.00	3.777	\$13.18		\$13.18		\$13.18	0.076	\$0.27		\$0.27	No
2023	09327	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,500.00	3.442	\$12.05		\$12.05		\$12.05	0.076	\$0.26		\$0.26	No
2024	09327	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,490.00	3.579	\$12.49		\$12.49		\$12.49	0.074	\$0.27		\$0.27	No
2020	09355	1214373	Foxwood Resources Ltd.	DIP-Non-Linear(Mach & Equip)	\$	45,450.00		\$0.00		\$0.00		\$0.00	0.076	\$3.45		\$3.45	No
2020	09355	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	8,130.00	3.777	\$30.71		\$30.71		\$30.71	0.076	\$0.62		\$0.62	No
2021	09355	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,240.00	4.01	\$12.99		\$12.99		\$12.99	0.076	\$0.25		\$0.25	No
2022	09355	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,220.00	3.887	\$12.52		\$12.52		\$12.52	0.076	\$0.24		\$0.24	No
2023	09355	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,250.00	3.442	\$11.19		\$11.19		\$11.19	0.074	\$0.24		\$0.24	No
2024	09355	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	3,220.00	3.579	\$11.52		\$11.52		\$11.52	0.076	\$0.24		\$0.24	No
2017	09445	1129759	Petro Buyers Inc.	DIP-Linear(well or pipe)	\$	795,310.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	No
2018	09445	1129759	Petro Buyers Inc.	DIP-Linear(well or pipe)	\$	529,540.00	3.757	\$1,989.48		\$1,989.48		\$1,989.48	0.034	\$18.00		\$18.00	No
2019	09445	1129759	Petro Buyers Inc.	DIP-Linear(well or pipe)	\$	325,920.00	3.599	\$1,172.99		\$1,172.99		\$1,172.99	0.078	\$25.42		\$25.42	No
2020	09445	1129759	Petro Buyers Inc.	DIP-Linear(well or pipe)	\$	234,510.00	3.777	\$885.74		\$885.74		\$885.74	0.076	\$17.82		\$17.82	No
2020	09542	1916768	Houston Oil & Gas Ltd.	DIP-Non-Linear(Mach & Equip)	\$	80,380.00		\$0.00		\$0.00		\$0.00	0.076	\$6.11		\$6.11	No
2020	09542	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,790.00	3.777	\$40.75		\$40.75		\$40.75	0.076	\$0.82		\$0.82	No
2021	09542	1916768	Houston Oil & Gas Ltd.	DIP-Non-Linear(Mach & Equip)	\$	77,390.00		\$0.00		\$0.00		\$0.00	0.076	\$5.88		\$5.88	No
2021	09542	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,690.00	4.01	\$42.87		\$42.87		\$42.87	0.076	\$0.81		\$0.81	No
2022	09542	1916768	Houston Oil & Gas Ltd.	DIP-Non-Linear(Mach & Equip)	\$	75,400.00		\$0.00		\$0.00		\$0.00	0.076	\$5.73		\$5.73	No
2022	09542	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,680.00	3.887	\$41.51		\$41.51		\$41.51	0.076	\$0.81		\$0.81	No
2023	09542	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,700.00	3.442	\$36.83		\$36.83		\$36.83	0.074	\$0.79		\$0.79	No
2018	09545	1129759	Petro Buyers Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	48,960.00	3.757	\$183.94		\$183.94		\$183.94	0.034	\$1.66		\$1.66	No
2019	09545	1129759	Petro Buyers Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	49,710.00	3.599	\$178.91		\$178.91		\$178.91	0.078	\$3.88		\$3.88	No
2020	09545	1129759	Petro Buyers Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	48,700.00	3.777	\$183.94		\$183.94		\$183.94	0.076	\$3.70		\$3.70	No
2021	09545	1129759	Petro Buyers Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	19,410.00	4.01	\$77.83		\$77.83		\$77.83	0.076	\$1.48		\$1.48	No
2022	09545	1129759	Petro Buyers Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	19,420.00	3.777	\$73.35		\$73.35		\$73.35	0.076	\$1.48		\$1.48	No
2019	09718	1229479	Eng-Land Energy Ltd.	DIP-Linear(well or pipe)	\$	156,460.00	3.599	\$563.10		\$563.10		\$563.10	0.078	\$12.20		\$12.20	No
2020	09718	1229479	Eng-Land Energy Ltd.	DIP-Linear(well or pipe)	\$	88,170.00	3.777	\$333.02		\$333.02		\$333.02	0.076	\$6.70		\$6.70	No
2018	09733	4426292	West Isle Energy Inc.	DIP-Linear(well or pipe)	\$	51,030.00	3.757	\$191.72		\$191.72		\$191.72	0.034	\$1.74		\$1.74	No
2019	09733	4426292	West Isle Energy Inc.	DIP-Linear(well or pipe)	\$	67,660.00	3.599	\$243.51		\$243.51		\$243.51	0.078	\$5.28		\$5.28	No
2020	09733	4426292	West Isle Energy Inc.	DIP-Linear(well or pipe)	\$	41,400.00	3.777	\$156.37		\$156.37		\$156.37	0.076	\$3.15		\$3.15	No
2021	09733	4426292	West Isle Energy Inc.	DIP-Linear(well or pipe)	\$	27,000.00	4.01	\$108.27		\$108.27		\$108.27	0.076	\$2.05		\$2.05	No
2018	09813		Petro Globe Inc.	DIP-Non-Linear(Mach & Equip)	\$	88,450.00		\$0.00		\$0.00		\$0.00	0.034	\$3.01		\$3.01	No
2018	09813		Petro Globe Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	14,000.00	3.757	\$52.60		\$52.60		\$52.60	0.034	\$0.48		\$0.48	No
2019	09813		Petro Globe Inc.	DIP-Non-Linear(Mach & Equip)	\$	83,790.00		\$0.00		\$0.00		\$0.00	0.078	\$6.54		\$6.54	No
2019	09813		Petro Globe Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	14,330.00	3.599	\$51.57		\$51.57		\$51.57	0.078	\$1.12		\$1.12	No
2018	09814	8875922	Tallahassee Exploration Inc.	DIP-Non-Linear(Mach & Equip)	\$	30,830.00		\$0.00		\$0.00		\$0.00	0.034	\$1.05		\$1.05	No
2018	09814	8875922	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,180.00	3.757	\$23.22		\$23.22		\$23.22	0.034	\$0.21		\$0.21	No
2019	09814	8875922	Tallahassee Exploration Inc.	DIP-Non-Linear(Mach & Equip)	\$	30,830.00		\$0.00		\$0.00		\$0.00	0.078	\$2.40		\$2.40	No
2019	09814	8875922	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,280.00	3.599	\$22.60		\$22.60		\$22.60	0.078	\$0.49		\$0.49	No
2020	09814	8875922	Tallahassee Exploration Inc.	DIP-Non-Linear(Mach & Equip)	\$	31,060.00		\$0.00		\$0.00		\$0.00	0.076	\$2.36		\$2.36	No
2020	09814	8875922	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,150.00	3.777	\$23.23		\$23.23		\$23.23	0.076	\$0.47		\$0.47	No
2021	09814	8875922	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	2,450.00	4.01	\$9.82		\$9.82		\$9.82	0.076	\$0.19		\$0.19	No
2022	09814	8875922	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	2,430.00	3.777	\$9.18		\$9.18		\$9.18	0.076	\$0.18		\$0.18	No
2023	09814	8875922	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	2,450.00	3.442	\$8.43		\$8.43		\$8.43	0.074	\$0.18		\$0.18	No
2024	09814	8875922	Tallahassee Exploration Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	2,420.00	3.579	\$8.66		\$8.66		\$8.66	0.076	\$0.18		\$0.18	No
2018	09884	4426292	West Isle Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,510.00	3.757	\$43.24		\$43.24		\$43.24	0.034	\$0.39		\$0.39	No
2019	09884	4426292	West Isle Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,640.00	3.599	\$41.89		\$41.89		\$41.89	0.078	\$0.91		\$0.91	No
2020	09884	4426292	West Isle Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,500.00	3.777	\$43.44		\$43.44		\$43.44	0.076	\$0.87		\$0.87	No
2021	09884	4426292	West Isle Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,570.00	4.01	\$18.33		\$18.33		\$18.33	0.076	\$0.35		\$0.35	No
2022	09884	4426292	West Isle Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,510.00	3.777	\$17.03		\$17.03		\$17.03	0.076	\$0.34		\$0.34	No
2023	09884	4426292	West Isle Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,580.00	3.442	\$15.76		\$15.76		\$15.76	0.074	\$0.34		\$0.34	No
2024	09884	4426292	West Isle Energy Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,520.00	3.579	\$16.18		\$16.18		\$16.18	0.076	\$0.34		\$0.34	No
2024	09937	4704949	RK Smith Energy Corp.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,450.00	3.579	\$15.93		\$15.93		\$15.93	0.076	\$0.34		\$0.34	No
2018	010034	1881115	Anterra Energy Inc.	DIP-Linear(well or pipe)	\$	1,924,200.00	3.757	\$7,229.22		\$7,229.22		\$7,229.22	0.034	\$65			

2024	010178	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	8,310.00	3.579	\$29.74		\$29.74		\$29.74	0.076	\$0.63		\$0.63	No
2020	010179	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	28,260.00	3.777	\$106.74		\$106.74		\$106.74	0.076	\$2.15		\$2.15	No
2021	010179	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,290.00	4.01	\$45.27		\$45.27		\$45.27	0.076	\$0.86		\$0.86	No
2022	010179	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,180.00	3.777	\$42.23		\$42.23		\$42.23	0.076	\$0.85		\$0.85	No
2023	010179	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,290.00	3.442	\$38.86		\$38.86		\$38.86	0.074	\$0.84		\$0.84	No
2024	010179	2788305	Scollard Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,160.00	3.579	\$39.94		\$39.94		\$39.94	0.076	\$0.85		\$0.85	No
2020	010213	7547974	Canadian Oil & Gas International	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,120.00	3.777	\$38.22		\$38.22		\$38.22	0.076	\$0.77		\$0.77	No
2021	010213	7547974	Canadian Oil & Gas International	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,020.00	4.01	\$16.12		\$16.12		\$16.12	0.076	\$0.31		\$0.31	No
2022	010213	7547974	Canadian Oil & Gas International	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,010.00	3.777	\$15.15		\$15.15		\$15.15	0.076	\$0.30		\$0.30	No
2023	010213	7547974	Canadian Oil & Gas International	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,020.00	3.442	\$13.84		\$13.84		\$13.84	0.074	\$0.30		\$0.30	No
2024	010213	7547974	Canadian Oil & Gas International	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,020.00	3.579	\$14.39		\$14.39		\$14.39	0.076	\$0.31		\$0.31	No
2020	010221	1916768	Houston Oil & Gas Ltd.	DIP-Non-Linear(Mach & Equip)	\$	80,950.00		\$0.00		\$0.00		\$0.00	0.076	\$6.15		\$6.15	No
2020	010221	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,930.00	3.777	\$41.28		\$41.28		\$41.28	0.076	\$0.83		\$0.83	No
2021	010221	1916768	Houston Oil & Gas Ltd.	DIP-Non-Linear(Mach & Equip)	\$	76,420.00		\$0.00		\$0.00		\$0.00	0.076	\$5.81		\$5.81	No
2021	010221	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,980.00	4.01	\$44.03		\$44.03		\$44.03	0.076	\$0.83		\$0.83	No
2022	010221	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,330.00	3.777	\$16.35		\$16.35		\$16.35	0.076	\$0.33		\$0.33	No
2023	010221	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,400.00	3.442	\$15.14		\$15.14		\$15.14	0.074	\$0.33		\$0.33	No
2020	010235	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,150.00	3.777	\$23.23		\$23.23		\$23.23	0.076	\$0.47		\$0.47	No
2021	010235	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	2,450.00	4.01	\$9.82		\$9.82		\$9.82	0.076	\$0.19		\$0.19	No
2022	010235	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	2,430.00	3.777	\$9.18		\$9.18		\$9.18	0.076	\$0.18		\$0.18	No
2023	010235	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	2,450.00	3.442	\$8.43		\$8.43		\$8.43	0.074	\$0.18		\$0.18	No
2024	010235	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	2,420.00	3.579	\$8.66		\$8.66		\$8.66	0.076	\$0.18		\$0.18	No
2020	010249	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,640.00	3.777	\$43.96		\$43.96		\$43.96	0.076	\$0.88		\$0.88	No
2021	010249	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,680.00	4.01	\$18.77		\$18.77		\$18.77	0.076	\$0.36		\$0.36	No
2022	010249	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,620.00	3.777	\$17.45		\$17.45		\$17.45	0.076	\$0.35		\$0.35	No
2023	010249	1916768	Houston Oil & Gas Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,640.00	3.442	\$15.97		\$15.97		\$15.97	0.074	\$0.34		\$0.34	No
2020	010259	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	17,030.00	3.777	\$64.32		\$64.32		\$64.32	0.076	\$1.29		\$1.29	No
2021	010259	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,760.00	4.01	\$27.11		\$27.11		\$27.11	0.076	\$0.51		\$0.51	No
2022	010259	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,760.00	3.777	\$25.53		\$25.53		\$25.53	0.076	\$0.51		\$0.51	No
2023	010259	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,770.00	3.442	\$23.30		\$23.30		\$23.30	0.74	\$5.01		\$5.01	No
2024	010259	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,760.00	3.579	\$24.19		\$24.19		\$24.19	0.076	\$0.51		\$0.51	No
2020	010561		RIA Resources Corp	DIP-Non-Linear(Mach & Equip)	\$	635,920.00		\$0.00		\$0.00		\$0.00	0.076	\$48.33		\$48.33	No
2020	010561		RIA Resources Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$	75,450.00	3.777	\$284.97		\$284.97		\$284.97	0.076	\$5.73		\$5.73	No
2021	010561		RIA Resources Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$	12,430.00	4.01	\$49.84		\$49.84		\$49.84	0.076	\$0.94		\$0.94	No
2022	010561		RIA Resources Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$	12,230.00	3.777	\$46.19		\$46.19		\$46.19	0.076	\$0.93		\$0.93	No
2023	010561		RIA Resources Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$	12,400.00	3.442	\$42.68		\$42.68		\$42.68	0.074	\$0.92		\$0.92	No
2024	010561		RIA Resources Corp	DIP-non-Linear(non-res. Bldgs&Structures)	\$	12,180.00	3.579	\$43.59		\$43.59		\$43.59	0.076	\$0.93		\$0.93	No
2020	010578		Petro Globe Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	13,170.00	3.579	\$47.14		\$47.14		\$47.14	0.076	\$1.00		\$1.00	No
2018	010834		Petro Globe Inc.	DIP-Non-Linear(Mach & Equip)	\$	150,200.00		\$0.00		\$0.00		\$0.00	0.034	\$5.11		\$5.11	No
2018	010834		Petro Globe Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,240.00	3.757	\$42.23		\$42.23		\$42.23	0.034	\$0.38		\$0.38	No
2019	010834		Petro Globe Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,500.00	3.599	\$41.39		\$41.39		\$41.39	0.078	\$0.90		\$0.90	No
2020	010834		Petro Globe Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,220.00	3.777	\$42.38		\$42.38		\$42.38	0.076	\$0.85		\$0.85	No
2021	010834		Petro Globe Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,450.00	4.01	\$17.84		\$17.84		\$17.84	0.076	\$0.34		\$0.34	No
2022	010834		Petro Globe Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	4,450.00	3.777	\$16.81		\$16.81		\$16.81	0.076	\$0.34		\$0.34	No
2018	011170	7598213	SanLing Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$	90,210.00		\$0.00		\$0.00		\$0.00	0.034	\$3.07		\$3.07	No
2018	011170	7598213	SanLing Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,020.00	3.579	\$35.86		\$35.86		\$35.86	0.034	\$0.34		\$0.34	No
2019	011170	7598213	SanLing Energy Ltd.	DIP-non-Linear(Mach & Equip)	\$	86,000.00		\$0.00		\$0.00		\$0.00	0.078	\$6.71		\$6.71	No
2019	011170	7598213	SanLing Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,120.00	3.599	\$36.42		\$36.42		\$36.42	0.078	\$0.79		\$0.79	No
2020	011170	7598213	SanLing Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$	83,770.00		\$0.00		\$0.00		\$0.00	0.076	\$6.37		\$6.37	No
2020	011170	7598213	SanLing Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	9,870.00	3.777	\$37.28		\$37.28		\$37.28	0.076	\$0.75		\$0.75	No
2021	011170	7598213	SanLing Energy Ltd.	DIP-non-Linear(Mach & Equip)	\$	79,950.00		\$0.00		\$0.00		\$0.00	0.076	\$6.08		\$6.08	No
2021	011170	7598213	SanLing Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	9,910.00	4.01	\$39.74		\$39.74		\$39.74	0.076	\$0.75		\$0.75	No
2022	011170	7598213	SanLing Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	9,770.00	3.777	\$36.90		\$36.90		\$36.90	0.076	\$0.74		\$0.74	No
2024	011316	1169211	Crimson Oil & Gas Ltd.	DIP-Linear(well or pipe)	\$	92,610.00	3.579	\$331.45		\$331.45		\$331.45	0.076	\$7.04		\$7.04	No
2020	011436	1214373	Foxwood Resources Ltd.	DIP-Non-Linear(Mach & Equip)	\$	222,150.00		\$0.00		\$0.00		\$0.00	0.076	\$16.88		\$16.88	No
2020	011436	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	17,030.00	3.777	\$64.32		\$64.32		\$64.32	0.076	\$1.29		\$1.29	No
2021	011436	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,840.00	4.01	\$27.43		\$27.43		\$27.43	0.076	\$0.52		\$0.52	No
2022	011436	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,730.00	3.777	\$25.42		\$25.42		\$25.42	0.076	\$0.51		\$0.51	No
2023	011436	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,840.00	3.442	\$23.54		\$23.54		\$23.54	0.074	\$0.51		\$0.51	No
2024	011436	1214373	Foxwood Resources Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	6,720.00	3.579	\$24.05		\$24.05		\$24.05	0.076	\$0.51		\$0.51	No
2018	011454		Sino-Western Petroleum Inc.	DIP-Non-Linear(Mach & Equip)	\$	152,560.00		\$0.00		\$0.00		\$0.00	0.034	\$5.19		\$5.19	No
2018	011454		Sino-Western Petroleum Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	12,330.00	3.757	\$46.32		\$46.32		\$46.32	0.034	\$0.42		\$0.42	No
2019	011454		Sino-Western Petroleum Inc.	DIP-Non-Linear(Mach & Equip)	\$	145,150.00		\$0.00		\$0.00		\$0.00	0.078	\$11.32		\$11.32	No
2019	011454		Sino-Western Petroleum Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	12,490.00	3.599	\$44.95		\$44.95		\$44.95	0.076	\$0.97		\$0.97	No
2020	011454		Sino-Western Petroleum Inc.	DIP-Non-Linear(Mach & Equip)	\$	137,960.00		\$0.00		\$0.00		\$0.00	0.076	\$10.48		\$10.48	No
2020	011454		Sino-Western Petroleum Inc.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	12,350.00	3.777	\$46.65		\$46.65		\$46.65	0.076	\$0.94		\$0.94	No
2018	011669	7598213	SanLing Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$	101,460.00		\$0.00		\$0.00		\$0.00	0.034	\$3.45		\$3.45	No
2018	011669	7598213	SanLing Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,100.00	3.757	\$41.70		\$41.70		\$41.70	0.034	\$0.38		\$0.38	No
2019	011669	7598213	SanLing Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$	96,280.00		\$0.00		\$0.00		\$0.00	0.078	\$7.51		\$7.51	No
2019	011669	7598213	SanLing Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	11,220.00	3.599	\$40.38		\$40.38		\$40.38	0.078	\$0.88		\$0.88	No
2020	011669	7598213	SanLing Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$	92,820.00		\$0.00		\$0.00		\$0.00	0.076	\$7.05		\$7.05	No
2020	011669	7598213	SanLing Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,930.00	3.777	\$41.28		\$41.28		\$41.28	0.076	\$0.83		\$0.83	No
2021	011669	7598213	SanLing Energy Ltd.	DIP-Non-Linear(Mach & Equip)	\$	88,050.00		\$0.00		\$0.00		\$0.00	0.076	\$6.69		\$6.69	No
2021	011669	7598213	SanLing Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,980.00	4.01	\$44.03		\$44.03		\$44.03	0.076	\$0.83		\$0.83	No
2022	011669	7598213	SanLing Energy Ltd.	DIP-non-Linear(non-res. Bldgs&Structures)	\$	10,830.00	3.777	\$40.90		\$40.90		\$40.9					

2018	012321	7598213	SanLing Energy Ltd.	DIP-Linear(well or pipe)	\$	1,062,760.00	3.757	\$3,992.79		\$3,992.79		\$3,992.79	0.034	\$36.13		\$36.13	No
2019	012321	7598213	SanLing Energy Ltd.	DIP-Linear(well or pipe)	\$	1,055,470.00	3.599	\$3,798.64		\$3,798.64		\$3,798.64	0.078	\$82.33		\$82.33	No
2020	012321	7598213	SanLing Energy Ltd.	DIP-Linear(well or pipe)	\$	1,008,590.00	3.777	\$3,809.44		\$3,809.44		\$3,809.44	0.076	\$76.65		\$76.65	No
2021	012321	7598213	SanLing Energy Ltd.	DIP-Linear(well or pipe)	\$	869,570.00	4.01	\$3,486.98		\$3,486.98		\$3,486.98	0.076	\$66.09		\$66.09	No
2018	012335	1169211	Pulse Oil Operating Corp.	DIP-Linear(well or pipe)	\$	146,250.00	3.757	\$549.46		\$549.46		\$549.46	0.034	\$4.97		\$4.97	No
2019	012335	1169211	Pulse Oil Operating Corp.	DIP-Linear(well or pipe)	\$	128,030.00	3.599	\$460.78		\$460.78		\$460.78	0.078	\$9.99		\$9.99	No
2020	012335	1169211	Pulse Oil Operating Corp.	DIP-Linear(well or pipe)	\$	131,060.00	3.777	\$495.01		\$495.01		\$495.01	0.076	\$9.96		\$9.96	No
2021	012335	1169211	Pulse Oil Operating Corp.	DIP-Linear(well or pipe)	\$	92,080.00	4.01	\$369.24		\$369.24		\$369.24	0.076	\$7.00		\$7.00	No
2022	012335	1169211	Pulse Oil Operating Corp.	DIP-Linear(well or pipe)	\$	51,510.00	3.777	\$194.55		\$194.55		\$194.55	0.076	\$3.91		\$3.91	No
2023	012335	1169211	Pulse Oil Operating Corp.	DIP-Linear(well or pipe)	\$	144,370.00	3.442	\$496.92		\$496.92		\$496.92	0.074	\$10.68		\$10.68	No
2024	012335	1169211	Pulse Oil Operating Corp.	DIP-Linear(well or pipe)	\$	152,090.00	3.579	\$544.33		\$544.33		\$544.33	0.076	\$11.56		\$11.56	No
2023	012339	1962921	HBC Energy Ltd.	DIP-Linear(well or pipe)	\$	86,000.00	3.442	\$296.01		\$296.01		\$296.01	0.074	\$6.36		\$6.36	No
2024	012339	1962921	HBC Energy Ltd.	DIP-Linear(well or pipe)	\$	96,150.00	3.579	\$344.12		\$344.12		\$344.12	0.076	\$7.31		\$7.31	No
2020	012341	1916768	Houston Oil & Gas Ltd.	DIP-Linear(well or pipe)	\$	45,640.00	3.777	\$172.38		\$172.38		\$172.38	0.076	\$3.47		\$3.47	No
2018	012437	1950921	Shanpet Resources Ltd.	DIP-Linear(well or pipe)	\$	148,050.00	3.757	\$556.22		\$556.22		\$556.22	0.034	\$5.03		\$5.03	No
2019	012437	1950921	Shanpet Resources Ltd.	DIP-Linear(well or pipe)	\$	183,520.00	3.599	\$660.49		\$660.49		\$660.49	0.078	\$14.31		\$14.31	No
2020	012437	1950921	Shanpet Resources Ltd.	DIP-Linear(well or pipe)	\$	155,530.00	3.777	\$587.44		\$587.44		\$587.44	0.076	\$11.82		\$11.82	No
2021	012437	1950921	Shanpet Resources Ltd.	DIP-Linear(well or pipe)	\$	53,750.00	4.01	\$215.54		\$215.54		\$215.54	0.076	\$4.09		\$4.09	No
2022	012437	1950921	Shanpet Resources Ltd.	DIP-Linear(well or pipe)	\$	16,730.00	3.777	\$63.19		\$63.19		\$63.19	0.076	\$1.27		\$1.27	No
2023	012437	1950921	Shanpet Resources Ltd.	DIP-Linear(well or pipe)	\$	16,810.00	3.442	\$57.86		\$57.86		\$57.86	0.074	\$1.24		\$1.24	No
2024	012437	1950921	Shanpet Resources Ltd.	DIP-Linear(well or pipe)	\$	18,920.00	3.579	\$67.71		\$67.71		\$67.71	0.076	\$1.44		\$1.44	No
2024	012550	4704949	RK Smith Energy Corp.	DIP-Linear(well or pipe)	\$	89,830.00	3.579	\$321.50		\$321.50		\$321.50	0.076	\$6.83		\$6.83	No
2024	012615	8909468	Outpost Energy Ltd.	DIP-Linear(well or pipe)	\$	307,940.00	3.579	\$1,102.12		\$1,102.12		\$1,102.12	0.076	\$23.40		\$23.40	No
2024	012733	8971317	Ledgend Royalty Trust Ltd.	DIP-Linear(well or pipe)	\$	288,100.00	3.579	\$1,031.11		\$1,031.11		\$1,031.11	0.076	\$21.90		\$21.90	No
								\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
								Totals	\$49,087.02		\$49,087.02	\$0.00	\$49,087.02		\$1,222.29	\$0.00	\$1,222.29

*Insert rows if needed

Total Provincial Education Requisition Credit	\$49,087.02	Total DI Property Requisition Credit	\$1,222.29
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BRAZEAU COUNTY UPDATE REPORT TO COUNCIL

SUBJECT: Sunset Acres Drainage Review

DATE TO COUNCIL: January 13, 2025

PREPARED BY: Pippa Whaley, Public Works Manager

**UPDATE
INFORMATION:**

Administration contracted V3 Companies of Canada Ltd. to assess drainage issues that were initially raised by residents. As well as the following Council motion:

528/23-09-05 *Administration to contact the landowner Trevor Gruninger on Township Road 494 regarding ditches to work out an agreement to correct the drainage issue under the oversight of Public Works.*

The Sunset Acres Drainage Assessment report (Attachment 1) outlines findings from a site visit, surveys, and analysis of the identified concern areas, with recommendations for further action.

On October 30th, 2024, V3 staff conducted a site visit with a County representative to assess the drainage situation. This was followed by a drone survey on November 2nd, 2024, conducted by Challenger Geomatics, and a ground survey on November 8th, 2024. The primary areas of concern identified were:

1. Drainage along Range Road 72A, adjacent to Lot 5.
2. Dugout constructed on Lot 2 and its potential impact on Lot 1.

Drainage along Range Road 72A (West Side)

- **Condition:** No significant issues were identified. During the site visit on October 30th, the ditches along Range Road 72A were dry, and there was no evidence of prolonged standing water.
- **Recommendation:** Continue monitoring the area to assess the severity of the drainage concern. Further investigation should be conducted in collaboration with the landowner of Lot 5 when standing water is present, to determine if the ponding is a localized issue or indicative of a broader drainage problem. Should further concerns arise, V3 can provide additional recommendations and cost estimates.

Dugout on Lot 2

- **Condition:** The dugout located near the northeast corner of Lot 2 appears to be properly graded. If the dugout overflows, water is expected to flow eastward across the northern side of Lot 4, which is unoccupied.
- **Recommendation:** Continue to monitor the surrounding area for any signs of water encroachment on Lot 1. If significant flooding concerns develop, V3 can explore options such as the construction of berms or ditches to redirect the water. No immediate action is necessary, but the situation should be reassessed if flooding is observed.

Quarter Section Drainage Overview

- The overall grading of the quarter section is adequate, with 11 to 13 meters of fall from the western limits to the east/northeast. The average gradient of approximately 1.5% is sufficient for water conveyance.
- Water is primarily captured by the existing creek located near the northeast corner, and from there, it flows southeast towards the North Saskatchewan River.
- No major issues with the general drainage were observed, though minor ponding may occur in isolated flat areas, such as near Lot 1 and Lot 2. These areas do not pose a significant risk due to the absence of active development.

Summary

Based on the findings, the following actions are recommended:

1. **Monitor Drainage on Range Road 72A:** Continue working with the landowner of Lot 5 to verify the extent of drainage concerns when standing water is present. Administration met with the landowner at the County Building December 18th, 2024 to discuss results and pass on the findings. Communications will continue if concerns arise in the spring.
2. **Develop Sunset Acres Community:** Continue with the development as per the Sunset Acres Area Structure Plan. The infrastructure expansion will improve drainage outlets along Range Road 72A and address potential long-term concerns.
3. **Monitor Dugout on Lot 2:** Keep monitoring the dugout to ensure that overflow does not impact Lot 1. Should any flooding concerns arise, consider further investigations and potential mitigation measures.

The drainage concerns at Sunset Acres are primarily localized, and current observations suggest that no immediate large-scale interventions are required. However, continued monitoring and collaboration with residents will ensure that any developing issues are addressed promptly. Administration has scheduled minor maintenance work, including brushing, at the turnaround on the North end of RR 72A as identified in Site Photo 1.2 and 1.3 on attached report, for Spring 2025.

26 November 2024

Amro Kotb, P.Eng.
Director of Public Works
Brazeau County
Box 77 – 7401 Twp Rd 494
Drayton Valley, Alberta T7A 1R1

RE: Sunset Acres Drainage Improvement | Drainage Assessment

Dear Mr. Kotb,

Brazeau County is currently experiencing drainage issues at the Sunset Acres Subdivision, located approximately one kilometer northeast of the Brazeau County Administrative Building. Through discussions with County employees, V3 has identified two primary areas of concern. This drainage assessment is divided into three sections to address these specific concerns and comment on the overall drainage for the remainder of the quarter section.

To investigate the drainage issues reported by the County, V3 conducted an initial site visit with David Cadwell from Brazeau County on October 30th, 2024. During this visit, photographs were taken of the ditches and drainage features along Range Road 72A. Shortly after on November 2nd, Challenger Geomatics performed a survey of the quarter section with an unmanned aerial vehicle (UAV) to gather general elevation data. This was followed by a ground survey on November 8th, during which surveyors collected GPS points along Range Road 72A.

Upon reviewing the drainage features along Range Road 72A (Concern Area 1), no significant issues were identified. The ditch, which was reported to have standing water, was dry during the October 30th site visit. The condition of the ditch bottom suggests that there are no issues with prolonged standing water. Since the exact cause of the drainage concerns raised by the owner of Lot 5 Block 1 (Lot 5) could not be identified, and improvements to the drainage along Range Road 72A would involve significant costs, V3 recommends continued monitoring of the ditches to confirm if further action is necessary.

The contours generated by the drone survey that surround the dugout constructed on the northeast side of Lot 2 (Concern Area 2) suggest that it should not cause flooding issues for Lot 1 to the north. The grading immediately around the dugout appears to be flat. Water pooling around the dugout is expected to begin flowing to the east, across the north side of Lot 4, where there are no buildings. The existing gradient then continues eastward before shifting to the northeast through the Sunset Acres limits. For Concern Area 2, V3 again recommends monitoring the area to confirm if further action is necessary.

The overall topography of the quarter section appears adequate, with between eleven to thirteen meters of fall from the western limits to the east/northeast. The average gradient across the quarter section is approximately 1.5%. Most of the water from the quarter section is captured by the existing creek located near the northeast corner of the site. From there, the water is carried southeast towards the North Saskatchewan River.

These observations and recommendations are discussed in further detail in the following sections.

Concern Area 1 – Ditch Drainage Along Range Road 72A

Brazeau County has received complaints about standing water in the ditch running north-south along the west side of Range Road 72A, adjacent to Lot 5 of Sunset Acres. The resident of Lot 5 reported issues with standing water in the ditch, which has hindered their ability to mow and maintain it.

During the site visit conducted by V3 on October 30th, no water was observed in the bottom of the ditches on either side of Range Road 72A, between Township Road 494 and the existing north ditch limits. The purple highlighted area in Figure 1.0 below shows the limits of the ditch area that was visually assessed by V3 and subsequently surveyed by Challenger Geomatics using GPS.



Figure 1.0: Ditch Area Assessed along Range Road 72A

RANGE ROAD 72A DITCH DRAINAGE – WEST SIDE

A visual assessment of the grass at the bottom of the ditch along the concern area (adjacent to Lot 5) does not show the typical signs of rutting, tall grass, or ponding which indicate a prolonged presence of standing water. The western ditch drains to the north where it outlets into the nearby farmland. The condition of the ditch bottom adjacent to Lot 5 is shown in Site Photos 1.0 and 1.1 located in Appendix A.

The ditch south of the approach for Lot 5 has a consistent overall gradient that averages at around 1.5%. This ditch, which is in the area of concern, is expected to sufficiently convey water to the north. The ditch between the approach to Lot 5 and the approach to Lot 6 Block 1 (Lot 6) is less consistent, with localized areas of minor back-grade. The minimum average gradient in the ditch between Lots 5 and 6 is 0.27% in the area in line with Lot 6. The ditch north of the approach to Lot 6 also has areas of minor back-grade but has a minimum average gradient of 0.61%.

The gradients for the culverts under the Lot 5 and 6 approaches were found to be 0.4% and 0.5%, respectively. These grades along with the grades of the connecting ditches, are all below the recommended 2.0% that would be desirable for approach culverts and grass-surfaced ditches. For ditch areas with minimum slope, concrete swales could be constructed to help convey water, but these would be costly to construct and maintain.

The culvert inlets and outlets are free of any vegetation or blockages that may obstruct flow. The typical quality of the culvert inlets and outlets is shown in Site Photo 1.4 located in Appendix A. V3 reviewed the sizing for the culverts to meet the capacity for a 5-year rainfall event. The culvert sizes meet Brazeau County's Minimum Design Standards for Development, however the downstream culvert under the Lot 6 Block 1 approach appears to be slightly undersized. The culvert has a diameter of 400mm and a catchment area of approximately 8 hectares. To handle the runoff of a 5-year rainfall event the culvert should be upgraded to 500mm diameter.

The ditch constructed along the north side of Township Road 494 flows east along the southern boundary of Sunset Acres. With high points constructed at the northeast and northwest corners of the Range Road 72A approach, the water being carried east in the northern Township Road 494 ditch does not enter the Sunset Acres area and continues to flow away from the area of concern.

The existing ditch drainage along Range Road 72A is shown in Exhibit 1.0: Ditch Drainage Along Range Road 72A in Appendix B.

The ditch on the west side of Range Road 72A appears to end 4.0 meters north of the limits of Lot 6 in an area with light vegetation. Site Photos 1.2 and 1.3 located in Appendix A suggest that the water continues from this point towards the north. The elevation at the north end of the ditch is 832.15 meters. Survey data indicates that the water must pond to around a depth of 0.2 meters and reach an elevation of 832.36 meters before it can continue north, wrapping clockwise around the rough-graded turnaround and then daylighting east through the farmland towards the existing creek at the site boundary.

The actual ponding depth at the north end of the ditch may be less than 0.2 meters, as the drainage path around the turnaround contains taller grasses and vegetation that may have artificially raised the elevation of the UAV generated surface. Assuming the 0.2-meter ponding depth is correct, the water pooling in the ditch would only extend south approximately thirty-three meters (about halfway to the culvert for the Lot 6 approach). With the low end of the culvert for the Lot 5 approach (start of the concern area) 0.74 meters above the estimated ponding elevation, it does not appear that the ditch outlet is the cause of the drainage issues being experienced by the owner of Lot 5.

Similar to the western ditches, the gradient along the northern drainage path around the turnaround is low and inconsistent, being measured at 0.5% between the high point and the location where the water begins flowing east into the farmland. If the high point were removed and there was a straight grade between the existing low point in the ditch and the point where the water exits to the farmland, the overall gradient would be only 0.13%.

The existing drainage path around the turnaround and the ponding limits are shown in Exhibit 1.1: Drainage at North End of Range Road 72A in Appendix B.

The existing outlet elevation, fixed at the boundary between the road right-of-way (ROW) and the farmland, poses a challenge for improving the grade of the western ditches, culverts, and the flow path around the turnaround. Any lowering of the ditches and culverts within the existing road ROW would exacerbate pooling at the northern limits. Additionally, the low gradients in the ditches would complicate efforts to even out the grades using heavy equipment.

One option to enhance the outlet for the western ditch is to extend both the western and eastern ditches northwards towards the existing creek, as illustrated on the following page in Figure 1.1. This figure depicts a portion of the Conceptual Utility Servicing from the Sunset Acres Area Structure Plan, with proposed minor ditches shown in purple and major ditches and culverts shown in blue.

To reach the creek as shown would require the construction of approximately 335 meters of ditch on the east side of Range Road 72A, 150 meters on the west side, and one connecting culvert. The ditch on the east side of Range Road 72A would only be able to run at a gradient of 0.70% between the existing elevations for the ditch bottom and the creek. The western ditch and connecting culvert would only be able to run at a gradient of approximately 0.72%. While these improvements would enhance the outlet for both the western and eastern ditches, they would not effectively create an opportunity to increase the gradients in the existing ditches along Lots 5 and 6. Consequently, the owner of Lot 5 would likely experience little to no change in the drainage along their property.

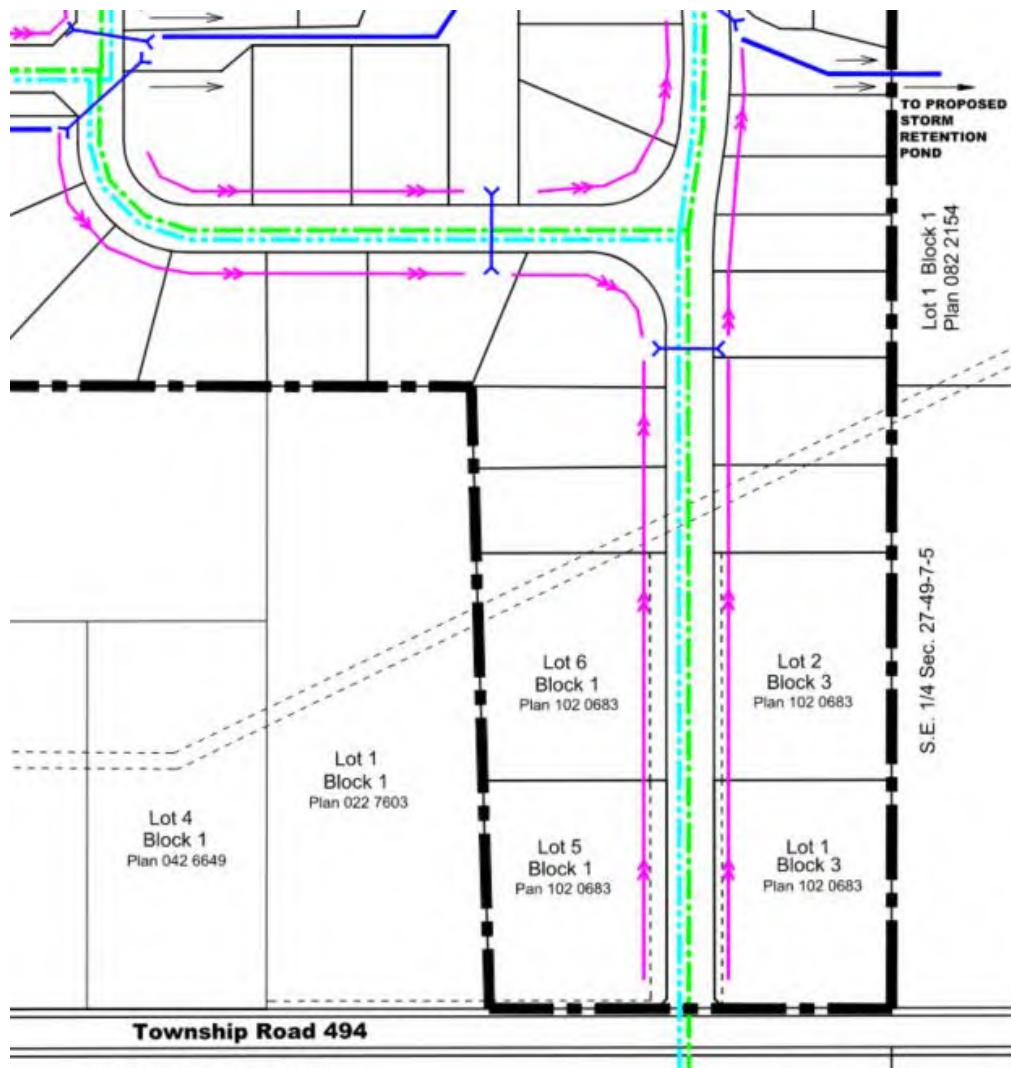


Figure 1.1: Sunset Acres Area Structure Plan - Conceptual Utility Servicing

With the construction of the proposed culvert and ditch installations to the north requiring a significant monetary investment from the County and having an indeterminable impact on the concern brought forward by the owner of Lot 5, V3 recommends that further investigation be completed to verify the severity of the concern. Further communication should be conducted with the landowner at Lot 5, so that the site can be visited when there is standing water in the ditch. This will help determine whether the reported ponding is localized to the immediate area in front of Lot 5 or if it is symptomatic of a larger drainage issue. Once the scope of the issue is confirmed, V3 can undertake further investigation to determine how the drainage may be improved and provide the County with options and pricing estimates.

RANGE ROAD 72A DITCH DRAINAGE – EAST SIDE

A visual assessment of the grass at the bottom of the ditches along the east side of Range Road 72A do not show the typical signs of rutting, tall grass or ponding which indicate a prolonged presence of standing water. The eastern ditch flows to the north where it outlets into the nearby farmland. The condition of the eastern ditch is shown in Site Photos 1.5 and 1.6 located in Appendix A.

The ditch south of the mailbox area has a consistent overall gradient of 1.0%. The gradient between the mailbox area and the approach for Lot 1 Block 1 is less consistent, with a minimum average gradient of around 0.4%. The ditch gradient increases to the north to approximately 0.6% between the approaches for Lot 1 Block 3 and Lot 2 Block 3, with small areas of minor back-grade. North of the approach for Lot 2 Block 3, the gradient again averages around 0.6%. Like the western side, the ditch gradients on the east side of Range Road 72A are below the recommended 2.0% for grass-surfaced ditches. For ditch areas with minimum slope, concrete swales could be constructed to help convey water, but these would be costly to construct and maintain.

The culvert underneath the mailbox pad has a measured grade of 1.7%. The measured grade for the culvert under the approach for Lot 1 Block 3 is 1.8%. The grade for the culvert under the approach for Lot 2 Block 3 is a bit lower at 1.5%. While none of these culvert grades meet the recommended 2.0%, they are expected to perform adequately and do not warrant reconstruction.

The existing ditch drainage along Range Road 72A is shown in Exhibit 1.0: Ditch Drainage Along Range Road 72A in Appendix B.

The ditch on the east side of Range Road 72A appears to end in line with the projection of the property line to Lot 2 Block 3, in an area marked by bushes and tall grass. From this point, the survey data suggests that the water continues north to exit the road ROW and flows east across the adjacent farmland. The outlet for the eastern ditch appears to be the same location as for the western ditch. Like the west side of Range Road 72A, the survey data indicates that the water on the east side must pond in the ditch to a depth of 0.2 meters before it can continue north to the outlet. Again, the actual ponding depth may be less than 0.2 meters, since the drainage path contains taller grasses and vegetation that may have artificially raised the elevation of the UAV generated surface.

Assuming the 0.2-meter ponding depth is correct, the water pooling in the eastern ditch would extend south approximately 36 meters, which is just over halfway to the approach for Lot 2 Block 3. With no reported drainage concerns from the residents along the eastern ditch and no evidence of prolonged ponding, there does not appear to be a need to improve the outlet for the eastern ditch.

The fixed existing outlet elevation at the boundary between the road right-of-way (ROW) and the farmland poses a challenge for improving the grade of the eastern ditches. Any lowering of the ditches and connecting culverts within the existing road ROW would exacerbate pooling at the northern limits. Additionally, the low gradients in the ditches would complicate efforts to even out the grades using heavy equipment.

The existing drainage path and the ponding limits are shown in Exhibit 1.1: Drainage at North End of Range Road 72A in Appendix B.

Since the drainage along the eastern side of Range Road 72A appears to be adequate and there have been no reported instances of ponding water, V3 does not recommend exploring improvements specifically for the eastern ditches currently. Drainage improvements may be recommended for the north end of the eastern ditches if it is determined that these improvements would also help to alleviate the drainage concerns brought forward for the western side of Range Road 72A.

Concern Area 2 – Dugout on Lot 2

The County stated that they received a concern from the owner of Lot 1 (Plan 952 4158) regarding the dugout that has been constructed near the northeast corner of Lot 2 (Plan 952 4158). The Lot 1 owner is concerned that if the dugout were to overflow, the water may drain to their property.

V3 visited Lot 1 during the October 30th site visit. Unfortunately, the owners of the property were not home at this time. Without permission from the property owners, V3 was unable to walk the property and review the topography.

The contour map generated from the drone survey shows that the top of the dugout berm and the Lot 1 residence are both at an elevation of approximately 832.00 meters. The predominant grade surrounding the dugout appears flat to the immediate north, east and south. A review of the contour map suggests that if the dugout were to overflow, the water would pond around it on these sides before heading east across the empty northern side of Lot 4. The water would then continue eastward before shifting to the northeast through the Sunset Acres limits.

With a lower elevation of 831.50 meters in the area between the dugout and the access road to Lot 1, the access road may act as a natural berm to any flooding. The gradients along the southern edge of the approach road near the residence are to the southeast at around 2-3%. These gradients should prevent any water pooling in the area between the dugout and Lot 1 from heading north towards the Lot 1 residence.

Any water flowing from the dugout does not appear to flow northeast towards the building on the southeast corner of Lot 1. The contours from the drone survey suggest that the water does not proceed north beyond the boundary of Lots 1 and 2.

While the contours from the drone survey suggest that water should not flow from the dugout to the Lot 1 structures, the ground surface surrounding the dugout is relatively flat and this area should continue to be monitored.

If the area does backup into lot 1, there may be a need to construct a berm or ditch north of the dugout to protect the residence and outbuilding that are located on Lot 1 and redirect the flow east.

The existing grades and elevations surrounding the dugout on Lot 2 are shown in Exhibit 1.2: Drainage Around Lot 2 Dugout in Appendix B.

Quarter Section Overall Drainage

The overall grading of the quarter section appears adequate, with eleven to thirteen meters of fall from the western limits to the east/northeast. The average grade across the quarter section is approximately 1.5%. The majority of the water from the quarter section is captured by the existing creek located near the northeast corner of the site. From there, the water is carried southeast towards the North Saskatchewan River.

There were two flat areas on existing private lots that were identified by the drone survey. The first area is on the western side of Lot 1 in a field. There may be some ponding in this area, however, with no development in this immediate area, ponding water may not be a concern. Ponded water in the area is expected to eventually either flow into the ditch along Range Road 73 or east across the site.

The second flat area identified in the surface is along the driveway for Lot 2. Review of the driveway using Google Street View does show that there is a ditch on the eastern side of the driveway which conveys water to the south to Township Road 494. The trees bordering this ditch hid it from the drone during the survey. There are no drainage concerns for this area.

The overall grading of the quarter section is shown in Exhibit 1.3: Quarter Section Overall Drainage located in Appendix B.

Closure

Based on the site assessment and the above observations, the following actions are recommended:

- Continue communicating with the owner of Lot 5 so that the site can be visited when there is standing water in the ditch along the property to confirm the extent of any drainage issues. If required, V3 can further investigate drainage improvement options and provide preliminary pricing.
- Continue developing the Sunset Acres community as per the Conceptual Utility Servicing shown in the Sunset Acres Area Structure Plan. The infrastructure included in the expansion will improve the outlets for the existing ditches along Range Road 72A.
- Continue monitoring the area surrounding the dugout in the northeast corner of Lot 2 to confirm that water will flow to the east if the dugout is overfilled. If there are further concerns that flooding water is encroaching on Lot 1, V3 can further investigate drainage improvement options and provide preliminary pricing.

We trust that the information contained herein meets your present requirements. Please contact our office if you have any questions or require additional information.

Sincerely,
V3 Companies of Canada Ltd.

Prepared by:

Joshua Visser, P.Eng.
Project Engineer

Report Reviewed by:



Braeden Veeneman, P.Eng.
Project Manager

Appendix A – Site Photos



Site Photo 1.0: Ditch Condition Adjacent to Lot 5 Block 1



Site Photo 1.1: Ditch Condition Adjacent to Lot 5 Block 1



Site Photo 1.2: North End of Western Ditch Along Range Road 72A



Site Photo 1.3: Northern Drainage Path for Western Ditch



Site Photo 1.4: Typical Condition of Range Road 72A Approach Culvert Inlets and Outlets




Site Photo 1.5: Ditch Condition Along East Side of Range Road 72A



Site Photo 1.6: Ditch Condition Along East Side of Range Road 72A

Appendix B – Drainage Exhibits






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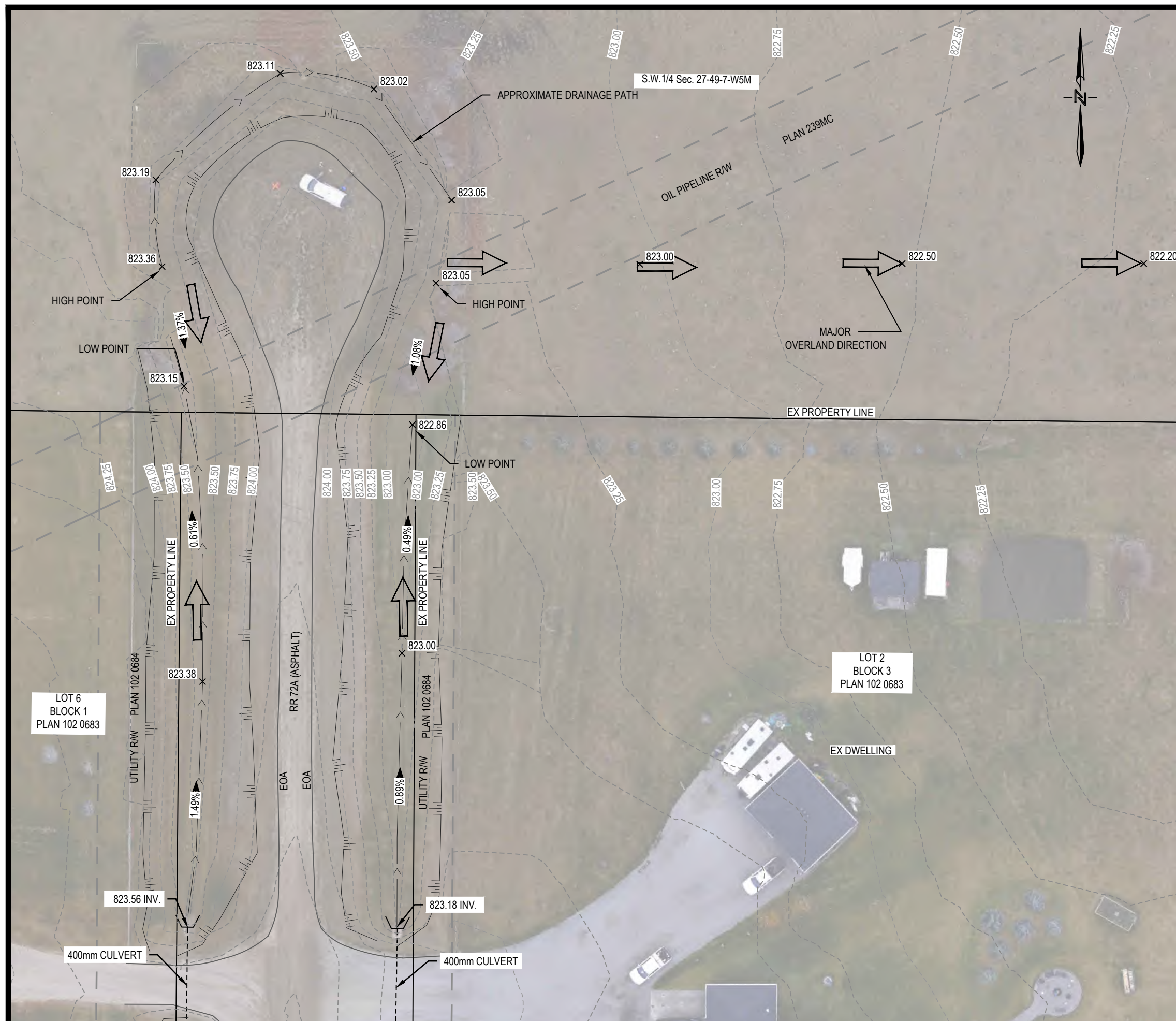
NOTES
1. DISTANCES ARE IN METERS AND DECIMALS THEREOF.
2. CONTOUR INFORMATION PROVIDED BY CHALLENGER GEOMATICS LTD.

REVISIONS

DATE	NATURE OF REVISION	DESIGN	DRAWN
2024.11.21	ISSUED FOR INFORMATION	N/A	AHB

SCALE: 1:1500


DATE: 2024.11.21	DRAWN: AHB	DESIGN: N/A	PROJECT NO. C24-0071
CLIENT: BRAZEAU COUNTY			SHEET: EXHIBIT 1.0
PROJECT: SUNSET ACRES DRAINAGE ASSESSMENT			
LOCATION: S.W.1/4 Sec. 27, TWP. 49, RGE. 7, W5M			
TITLE: DITCH DRAINAGE ALONG RANGE ROAD 72 A			



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EXISTING TOP OF SLOPE

EXISTING DITCH

× 687.39

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NOTES

1. DISTANCES ARE IN METERS AND DECIMALS THEREOF.
2. CONTOUR INFORMATION PROVIDED BY CHALLENGER GEOMATICS LTD.

REVISIONS

DATE	NATURE OF REVISION	DESIGN	DRAWN
2024.11.21	ISSUED FOR INFORMATION	N/A	AHB

SCALE:

1:500

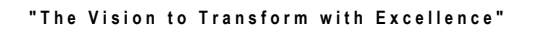


DATE: 2024.11.21	DRAWN: AHB	DESIGN: N/A	PROJECT NO. C24-0071
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CLIENT:	BRAZEAU COUNTY	EXHIBIT. 1.1
PROJECT:	SUNSET ACRES DRAINAGE ASSESSMENT	
LOCATION:	S.W.1/4 Sec. 27, TWP. 49, RGE. 7, W5M	
TITLE:	DRAINAGE AT NORTH END OF RANGE ROAD 72 A	

EXHIBIT. 1.1

FILE PATH: V:\Job Number\3C CANADA PROJECTS\2024\C24-0071 Sunset Acres\4 DESIGN DRAWINGS\03-FIGURES
DRAWING NAME: C24-0071 FIG 1-1




687.00

→

LOT 1
BLOCK 1
PLAN 082 2154

EXHIBIT 1.3

FILE PATH: V:\Job Number\303 CANADA PROJECTS\2024\C24-0071 Sunset Acres\4 DESIGN DRAWINGS\03-FIGURES
DRAWING NAME: C24-0071 FIG 1-3

BRAZEAU COUNTY REQUEST FOR COUNCIL DECISION		
SUBJECT:	Administration Building – Front Entrance Concrete Repairs	
DATE TO COUNCIL:	January 13, 2025	
SUBMITTED BY:	Pippa Whaley, Public Works Manager	
ENDORSED BY:		
REVIEWED BY CAO:	Rudy Friesen, Chief Administrative Officer	

RECOMMENDED ACTIONS:

Council adds the proposed structural repairs to the concrete pad at the Administration Building Front Entrance in the amount of \$55,000.00, to be funded through the Engineered Structures Reserve, to Final Budget.

1. TOPIC DEFINED

Executive Summary

Upon request from Administration, MR Engineering Ltd. conducted a structural inspection of the concrete sidewalk surrounding the entrance of the Brazeau County Administration Building. The inspection identified several structural issues, including cracking, spalling, and settlement of the concrete sidewalk around the installed poles. These conditions are likely caused by factors such as poor soil compaction, moisture fluctuation, and the load-bearing capacity of the soil.

The findings indicate the potential for further deterioration if the issues are not addressed. The report details the necessary remedial actions to restore the structural integrity and safety of the sidewalk.

Identified Issues:

- **Cracking and Spalling:** Several areas of the sidewalk surrounding the poles have been observed to exhibit spalling (deep surface defects) and cracking, indicating damage to the concrete surface.
- **Settlement:** Uneven settlement was noted, primarily due to compression or shifting of the underlying soil, which has caused structural instability. This is particularly noticeable around the middle concrete tiles.
- **Potential Causes:** Contributing factors include poorly compacted soil, moisture fluctuations, and excessive load-bearing stress.

Recommendations for Repair:

1. **Concrete Cutting and Removal:** The areas around the poles should be saw-cut, debris cleared, and disposed of in accordance with environmental guidelines.

2. **Subbase Replacement:** The underlying subbase should be removed and replaced, followed by compaction with granular material and native soil to 98% of the Standard Proctor Maximum Dry Density (SPMDD). A compaction test should be conducted to verify the density.
3. **Concrete Pouring:** New concrete should be poured using high-strength material with specific strength, slump, and aggregate specifications to ensure durability.

Estimated Cost: The total cost for the repair work is estimated at **\$47,650.00** This includes concrete cutting, subbase replacement, compaction testing, and concrete pouring.

Relevant Policy

FIN-18

Strategic Relevance:

This decision aligns with Brazeau County's goal of maintaining safe, durable infrastructure. Addressing these issues promptly will help prevent further degradation of the sidewalk and ensure the safety of building occupants and visitors. This aligns with the County's long-term goals for efficient facility management and sustainability.

2. ANALYSIS OF RECOMMENDED ACTION

Council adds the proposed structural repairs to the concrete pad at the Administration Building Front Entrance in the amount of \$55,000.00, to be funded through the Engineered Structures Reserve, to Final Budget.

Advantages	Disadvantages
<ul style="list-style-type: none"> - Correct the safety issue. - It will avoid injuries resulting from tripping, slipping, and falling. 	<ul style="list-style-type: none"> - Cost

3. IMPLICATIONS OF RECOMMENDATION

Operational:

The pad will be corrected and will not pose a safety concern, mitigating potential future deterioration.

Financial:

\$55,000.00, funded through the Engineered Structures Reserve, to Final Budget.

Attachments:

Attachment 1 – MR Engineering Structural Inspection



STRUCTURAL INSPECTION

**NEW ADMINISTRATION BUILDING AND PUBLIC
WORKS FACILITY BRAZEAU COUNTY, ALBERTA**



SUBMITTED TO

Brazeau County

DECEMBER 02, 2024

PROJECT NO: CONST-2024-002

Prepared By

MR Engineering Ltd.

#112, 1803-91 Street SW

Edmonton, AB T6X 0W8

Ph: 780-807-0016 | Fax: 1-888-805-2652

info@mrengineering.ca | www.mrengineering.ca

STRUCTURAL INSPECTION

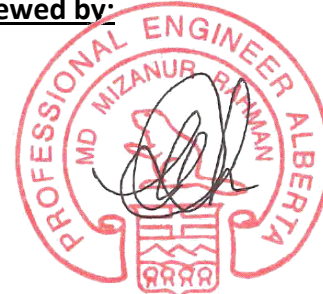
NEW ADMINISTRATION BUILDING AND PUBLIC WORKS FACILITY BRAZEAU COUNTY, ALBERTA

Prepared by:



**Mohammed Taher Ahmed Silledar, M.Eng., E.I.T.
Structural E.I.T.**

Reviewed by:



2024-12-04

APEGA ID # 87472

**Md Mizanur Rahman, M.A.Sc., P.Eng.
Senior Structural Engineer**



RM APEGA ID # 87472

CLIENT: Brazeau County

DATE: DECEMBER 02, 2024

PROJECT NO: CONST-2024-002

This report has been prepared by MR Engineering Ltd. for exclusive use by the Client to whom it is addressed. The information and data in the report reflect the best professional judgment by MR Engineering Ltd. considering the knowledge and information available at the time of preparation of this report. Except as required by law, this report, and the information as well as data contained are to be treated as confidential and may be used and relied upon only by the Client. Any use which a third party makes of this report, or any reliance on or decisions made based on it, are the sole responsibilities of such third parties.

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APPENDICES

APPENDIX A: Figures and Photographs

1.0 INTRODUCTION

1.1 Background

MR Engineering Ltd. was retained by Brazeau County to conduct a structural inspection for a concrete pad located at NEW ADMINISTRATION BUILDING AND PUBLIC WORKS FACILITY BRAZEAU COUNTY, ALBERTA. The project involves a concrete sidewalk currently serving as the building's entrance. Three poles are installed on the 3 concrete piles surrounded by the concrete pad at grade. A site inspection was conducted to assess any structural issues related to the concrete pad.



Figure 1: Overview of Site Location (Source: Google Earth Pro)

1.2 Scope of Work

The scope of work for the structural investigation consisted of the following tasks:

- Review records and inspection documents of the property
- Visually inspect the subject property
- Review adjacent properties
- Complete a written report detailing findings and indicating the level of risk associated with the subject property

2.0 METHODOLOGY

The following methodology outlines the general procedures and sources of information used to complete the requirements of the Structural Investigation.

2.1 Review Records and Inspection Documents of the Property

Photographs

- Review photographs that were previously taken showing all the issues.

Owner Records & Inspection Reports

- Review any available structural inspection reports or any documents that were previously prepared by other companies.

2.2 Property Inspection

Visual Inspection

- Obtain and document information on:
 - Any visible cracks, stains, and structural damage
 - Any modification in the structure

Photographs

- Document the subject site and immediate area through photographs

2.3 Report

Prepare a report outlining the findings of the investigation and provide conclusions and recommendations.

3.0 SITE INSPECTION

The subject property was inspected by Md Mizanur Rahman, M.A.Sc., P.Eng. of MR Engineering Ltd. on November 26, 2024. Photographs of the subject property taken during the inspection are provided in Appendix A.

At the time of the site inspection the following items were identified:

- The subject property consists of a sidewalk surrounding the perimeter of the building. The inspection focused on the sidewalk located at the building's entrance.
- The concrete pad sidewalk resting on the grade consists of three poles evenly spaced at 4.2m intervals positioned in front of the building.
- Cracking and spalling were noted on the concrete sidewalk surrounding the poles.

- The settlement of a structure is typically caused by factors are as follows:
- Insufficiently compacted soil during construction can lead to voids that collapse under the weight of the pad.
- Loose soil compresses under load, causing uneven settlement and cracks in structures.
- Buildings or concrete pads may tilt or shift if the soil beneath them is not adequately compacted.
- Poor compaction leads to ongoing maintenance issues and reduced durability of structures.
- Water flow beneath the pad can erode supporting soil, leading to uneven settling.
- Loads exceeding the bearing capacity of the soil can cause compression and displacement.
- Fluctuations in moisture content, especially in expansive clay soils, can cause the soil to shrink or swell. This movement results in uneven settlement.
- The decomposition of organic materials within the soil can create voids, reducing the soil's ability to support the concrete pad and resulting in settlement.
- Freezing and thawing cycles can lead to soil movement, resulting in settlement.

Table 1. Allowable foundation displacement:

<i>Type of Settlement</i>	<i>Limiting Factor</i>	<i>Maximum Settlement</i>
Total Settlement	Drainage	15 – 30 cm
	Access	30 – 60 cm
	Probability of Non-Uniform Settlement	
	- Masonry Walled Structures	2.5 – 5 cm
	- Framed Structures	5 – 10 cm
	- Chimneys, Silos, Mats	5 – 10 cm

4.0 STRUCTURAL INSPECTION ANALYSIS

- Cracking and spalling were noted on the concrete sidewalk surrounding the poles are observed as shown in Figure 1
- Spalling is a deeper surface defect compared to scaling, appearing as circular or oval depressions on surfaces or elongated cavities along joints.
- Spalls are often 25 mm (1 in.) or more in depth and 150 mm (6 in.) or more in diameter, though smaller spalls can also occur.
- Spalling is caused by factors such as pressure or expansion within the concrete, bond failure, impact loads, fire, weathering, improperly constructed joints, and corroded reinforcing steel.
- Settlement of the concrete sidewalk between the poles has been observed, resulting from the downward movement caused by the compression or shifting of the underlying soil. This condition frequently creates uneven surfaces, cracks, and structural instability, which may jeopardize the functionality and safety of the structure
- Settlement at the middle most concrete tiles is observed as shown in Figure 7.

5.0 CONCLUSIONS AND RECOMMENDATIONS

- Cut the concrete around the poles to the specified dimensions as illustrated in the figure 11 and 12.
- Clear the debris and dispose of it in accordance with local regulations and environmental guidelines.
- Remove and replace the subbase, then compact it with 6 inches of granular material and native soil or compacted subgrade to 98% of the Standard Proctor Maximum Dry Density (SPMDD).
- Conduct a compaction test to ensure the subbase meets the specified compaction requirements mentioned above. This test verifies that the material has been compacted to the required density, providing adequate support for the overlying structure.
- Pour the concrete as per the specified requirements: Use High-Strength (HS) concrete with a compressive strength of 32 MPa at 56 days, a slump of 80 ± 20 mm, a maximum aggregate size of 20 mm (3/4"), a water-cement ratio of 0.45, and an air content of 4% to 7%.

6.0 LIMITATION OF THIS ASSESSMENT

This report has been prepared for the use of **Brazeau County**. The contents of this report are copyright of MR Engineering Ltd. and may not be copied or relied upon by any other party without the express written permission of MR Engineering Ltd. This report has been prepared in accordance with generally accepted engineering practices in the applicable jurisdiction.

This structural inspection report has been prepared based on information supplied by the client and a visual site inspection. The client should be aware of this risk and the report is delivered subject to the express condition that such risk is accepted by the client.

If any variations become evident on the site, MR Engineering Ltd. shall be notified immediately, and MR Engineering Ltd. will re-evaluate this report's recommendations.

7.0 COST ESTIMATION

S.no	Scope of Work	Estimated Cost
1	Concrete Cutting and Removal	\$47,650.00
2	Subbase Replacement and Compaction	
3	Compaction Testing	
4	Concrete Pouring and broom finish	

APPENDIX A

Figures and Photographs



Figure A1: Sidewalk with Three Poles Installed



Figure A2: Spalling around Second Pole

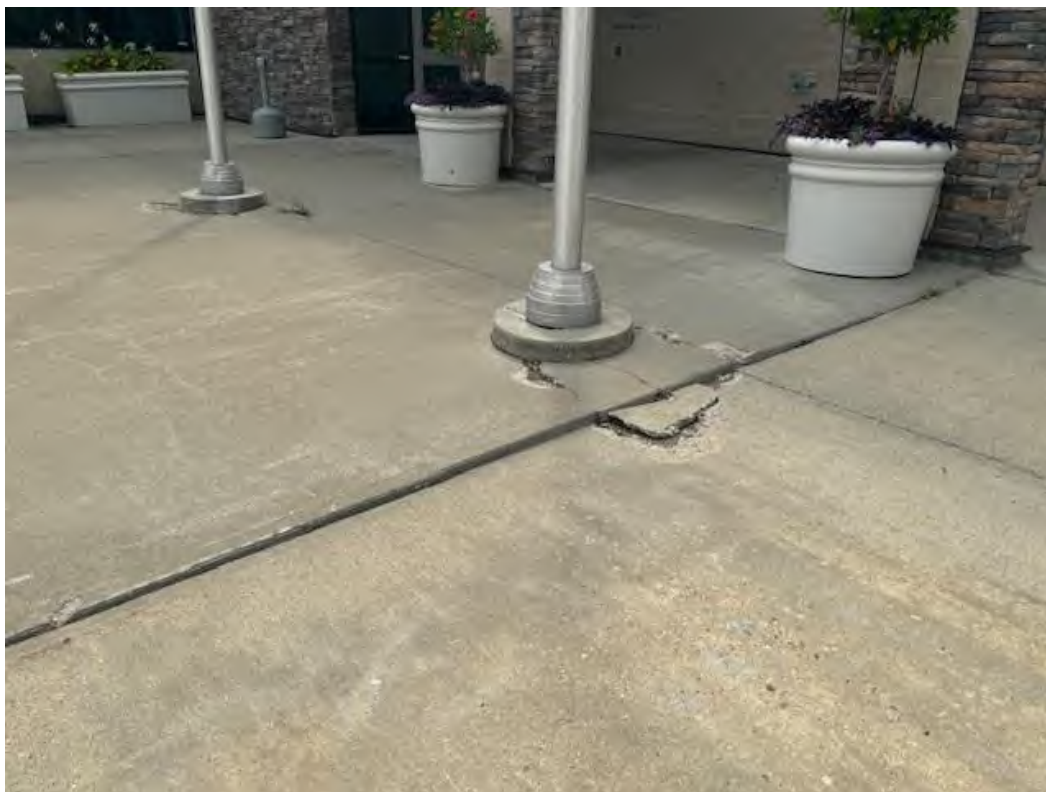


Figure A3: Cracks around the Concrete Tiles



Figure A4: Cracks at the bottom of the Second Pole



Figure A5: Spalling around the First Pole



Figure A6: Cracks at the Bottom of the First Pole



Figure A7: Settlement in the Middlemost Tile



Figure A8: Cracks and Spalling around the Third Pole

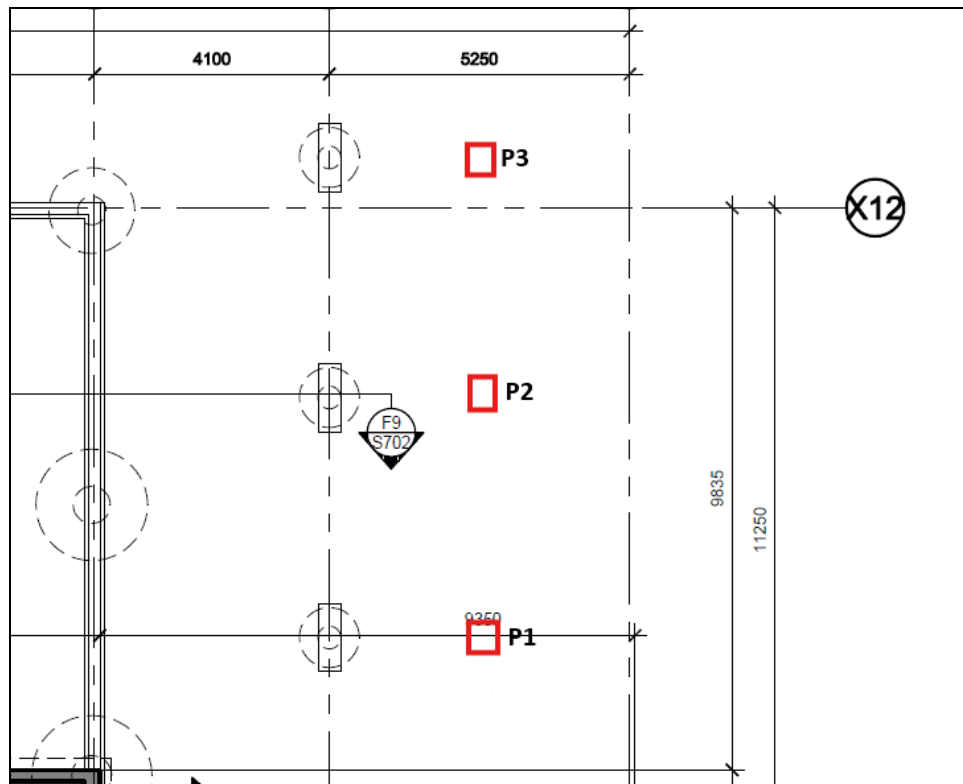


Figure A9: Pole Labelling

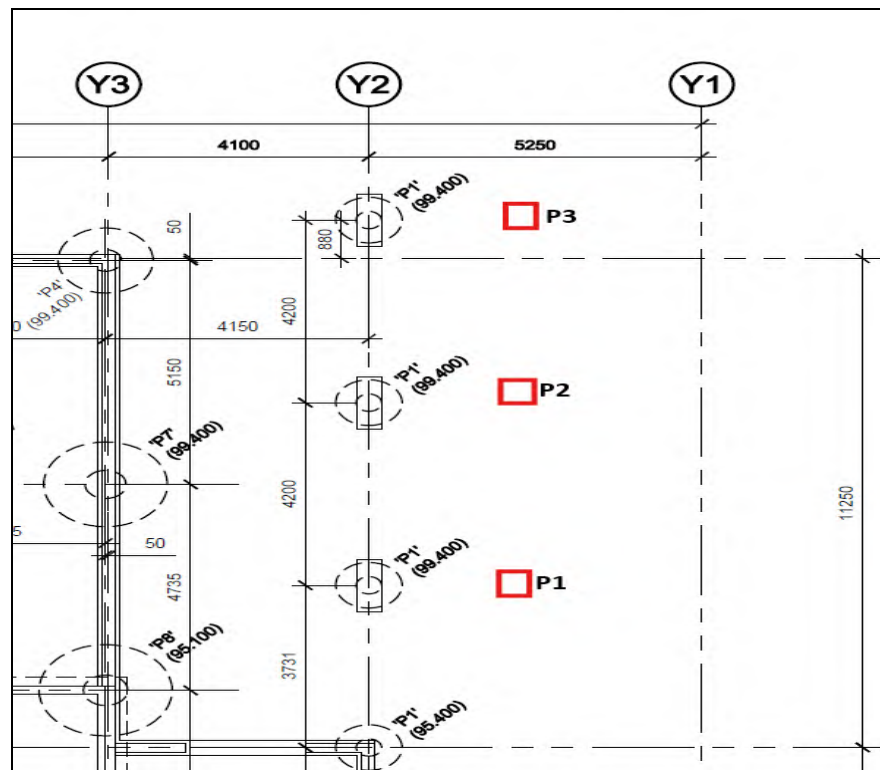


Figure A10: Distances between Poles

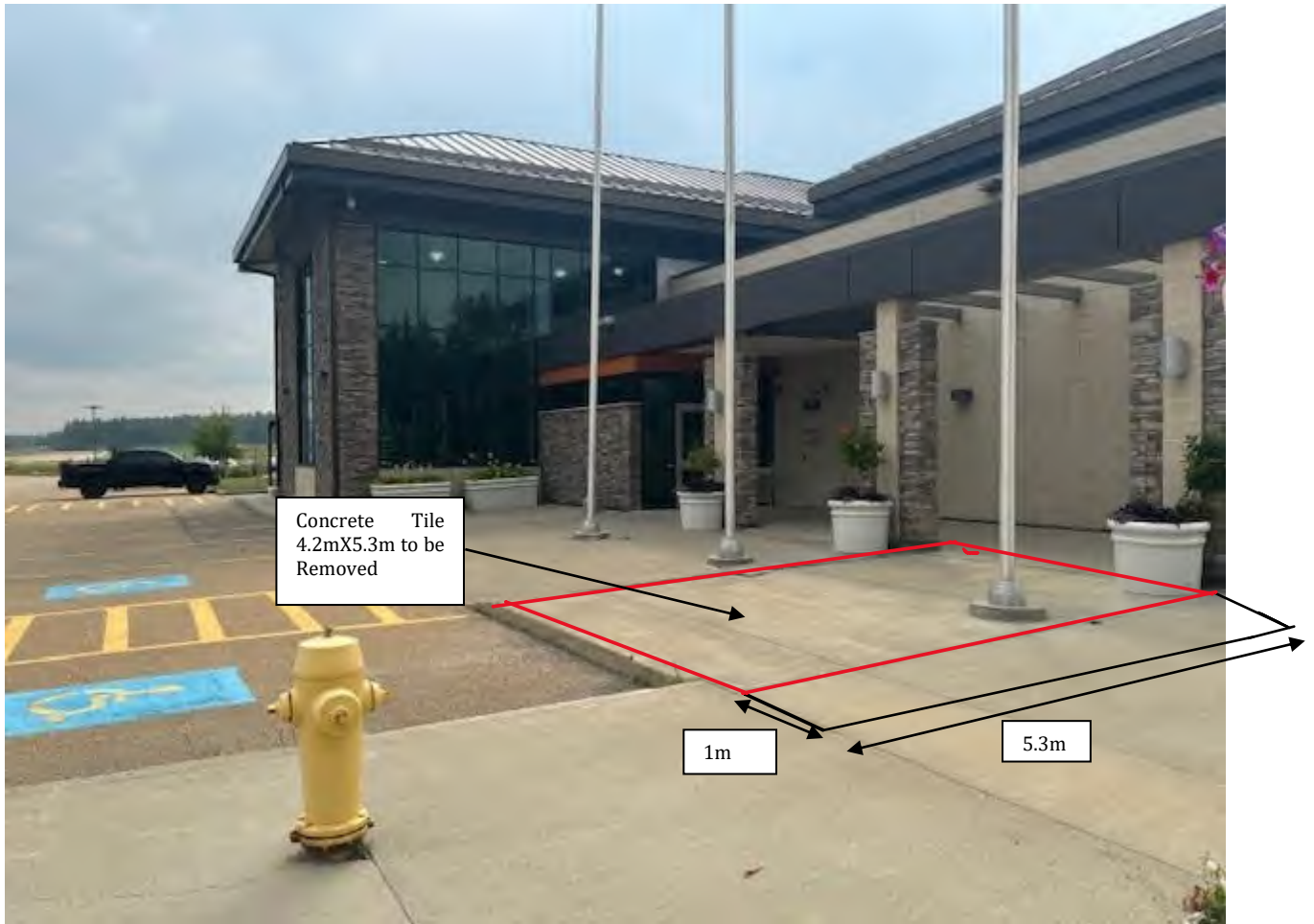



Figure A11: Area to be Saw Cut



Figure A12: Area to be Saw Cut around P1

BRAZEAU COUNTY REQUEST FOR COUNCIL DECISION		
SUBJECT:	Sand and Salt Shed Paving	
DATE TO COUNCIL:	January 13, 2025	
SUBMITTED BY:	Pippa Whaley, Public Works Manager	
ENDORSED BY:		
REVIEWED BY CAO:	Rudy Friesen, Chief Administrative Officer	

RECOMMENDED ACTIONS:

Council adds the proposed paving to the Sand and Salt shed in the amount of \$600,000.00, funding source Major Facility Capital Investment Reserve, to 2025 Final Budget.

1. TOPIC DEFINED

Executive Summary

The RR 80 Salt and Sand Shed is in need of rehabilitation to enhance both its functionality and safety. The project will involve site preparation, the installation of a granular base course (GBC), cold milling of existing asphalt pavement, and the application of asphalt concrete pavement (EPS). These improvements aim to increase the site's durability and operational efficiency.

This rehabilitation project is essential for addressing the growing surface degradation, which has led to safety concerns and the potential for salt infiltration into the subbase. Such infiltration could result in significant environmental issues, as seen at the old County yard, where salt contamination is currently being monitored. The long-term costs of salt contamination are high, and delaying this project could exacerbate these issues.

Approving the estimated costs and proceeding with the rehabilitation will not only ensure the site meets long-term operational requirements but also ensure compliance with relevant standards. Furthermore, the project will help mitigate future environmental risks and reduce the ongoing costs associated with salt contamination.

Relevant Policy:

FIN-18

Strategic Relevance:

This decision aligns with Brazeau County's goal of maintaining safe, durable infrastructure. Addressing these issues promptly will help prevent further degradation of the paving and avoid

future safety and environmental concerns. This aligns with the County's long-term goals for efficient facility management and sustainability.

2. **ANALYSIS OF RECOMMENDED ACTION**

Council adds the proposed paving to the Sand and Salt shed in the amount of \$600,000.00, funding source Major Facility Capital Investment Reserve, to 2025 Final Budget.

Advantages	Disadvantages
<ul style="list-style-type: none">- Enhanced Safety- Improved Durability- Environmental Protection- Operational Efficiency- Cost Savings in the Long Run	<ul style="list-style-type: none">- Initial Capital Investment

3. **IMPLICATIONS OF RECOMMENDATION**

Operational:

The operational implications of rehabilitating the RR 80 Salt and Sand Shed are positive. With enhanced site functionality, reduced maintenance, improved safety, and better environmental management, the rehabilitation will significantly improve the efficiency and effectiveness of operations. While there will be temporary disruptions during construction, these are manageable and far outweighed by the long-term operational benefits.

Financial:


The total estimated cost for the RR 80 Salt and Sand Site Rehabilitation is \$600,000.00. For approval at Final Budget 2025. Funded from Major Facility Capital Investment Reserve.

Attachments:

Attachment 1 – Picture of site

ATTACHMENT 1



BRAZEAU COUNTY REQUEST FOR COUNCIL DECISION		
SUBJECT:	2025 Mini Hydraulic Excavator - Tender Results	
DATE TO COUNCIL:	January 13, 2025	
SUBMITTED BY:	Mike Kwirant, Fleet and Facilities Supervisor	
ENDORSED BY:	Pippa Whaley, Public Works Manager	
REVIEWED BY CAO:	Rudy Friesen, Chief Administrative Officer	

RECOMMENDED ACTIONS:

- o Council direct Administration to proceed in awarding the equipment tender for the new Mini Hydraulic Excavator to Finning Canada in the amount of \$171,000.00

1. TOPIC DEFINED

Executive Summary

On November 21, 2024 Council passed the following motion:

690/24-11-21 Moved by G. Gunderson to approve the capital purchase of a mini-Hydraulic Excavator (Trak Hoe) to Brazeau County's fleet for \$175,000 funding from Equipment Replacement
IN FAVOUR – G. Gunderson, D. Wiltse, B. Guyon, D. Ekstrom, C. Brooks, K. Westerlund
OPPOSED – A. Heinrich
CARRIED

Administration recently advertised tenders for the new Mini Hydraulic Excavator (Track Hoe):

Mini Hydraulic Excavator – Tender Results		
Recommended Bid:	Total Bid Amount (w/o GST):	Assessment:
Finning Canada	\$171,000.00	Recommended
<u>Rationale:</u> Within budget, familiarity with equipment, proven to be reliable, all included, warranty, system meets specs, in stock.		
Other Bids	Total Bid Amount (w/o GST)	Assessment
Brandt Tractor	\$166,000.00 + \$9,000 for Hydraulic quick attach function that was not included by the vendor	Not Recommended
SMS Equipment	\$200,500.00	Not Recommended

Relevant Policy:

PW-16 – Equipment Replacement Program

Strategic Relevance:

We value Transparency, Integrity, and Ambition

2. ANALYSIS OF RECOMMENDED ACTION

- o Council direct Administration to proceed in awarding the equipment tender for the new Mini Hydraulic Excavator to Finning Canada in the amount of \$171,000.00.

Replacement costs associated with Administrations recommendations will be within the approved 2025 interim budget values for each piece of equipment.

3. IMPLICATIONS OF RECOMMENDATION

Operational:


None

Financial:

The recommended equipment replacements would not require any additional funding outside the approved 2025 interim budget values.

Attachments:

None

BRAZEAU COUNTY REQUEST FOR COUNCIL DECISION		
SUBJECT:	2025 Grader Replacement - Tender Results	
DATE TO COUNCIL:	January 13, 2025	
SUBMITTED BY:	Mike Kwirant, Fleet and Facilities Supervisor	
ENDORSED BY:	Pippa Whaley, Public Works Manager	
REVIEWED BY CAO:	Rudy Friesen, Chief Administrative Officer	

RECOMMENDED ACTIONS:

- Council direct Administration to proceed in awarding the grader tender for EQP-0103 – M140 to Brandt Tractor in the amount of \$712,400.00.
- Council direct Administration to proceed in awarding the grader tender for EQP-0104 – M142 to Brandt Tractor in the amount of \$712,400.00.

1. TOPIC DEFINED

Executive Summary

On November 21, 2024 Council passed the following motion:

692/24-11-21 Moved by A. Heinrich to approve equipment replacement items EQP-0103 (M140) and EQP-0104 (M142) from the Equipment Replacement Reserve.
CARRIED UNANIMOUSLY

Administration recently advertised tenders for the replacement of two graders, results of which can be found in the following tables:

1. EQP-0103 – M140 Grader Replacement

Recommended Bid:	Total Bid Amount (w/o GST):	Assessment:
Brandt Tractor	\$649,000.00 + \$63,400 Premium Circle & Dozer Assembly = \$712,400.00	Recommended
<u>Rationale:</u> Within budget, familiarity with equipment, proven to be reliable, system meets specs, March delivery.		
Other Bids	Total Bid Amount (w/o GST)	Assessment
Finning Canada *In Stock	\$693,000.00	Not Recommended
Finning Canada	\$692,000.00	Not Recommended

2. EQP-0104 – M142 Grader Replacement

Recommended Bid:	Total Bid Amount (w/o GST):	Assessment:
Brandt Tractor	\$649,000.00 + \$63,400 Premium Circle & Dozer Assembly = \$712,400.00	Recommended
<u>Rationale:</u> Within budget, familiarity with equipment, proven to be reliable, system meets specs, March delivery.		
Other Bids	Total Bid Amount (w/o GST)	Assessment
Finning Canada *In Stock	\$693,000.00	Not Recommended
Finning Canada	\$692,000.00	Not Recommended

Relevant Policy:

PW-16 – Equipment Replacement Program

Strategic Relevance:

We value Transparency, Integrity, and Ambition

2. ANALYSIS OF RECOMMENDED ACTION

- Council direct Administration to proceed in awarding the grader tender for EQP-0103 – M140 to Brandt Tractor in the amount of \$712,400.00.
- Council direct Administration to proceed in awarding the grader tender for EQP-0104 – M142 to Brandt Tractor in the amount of \$712,400.00.

Replacement costs associated with Administrations recommendations will be within the approved 2024 interim budget values for each piece of equipment.

3. IMPLICATIONS OF RECOMMENDATION

Operational:


None

Financial:

The recommended equipment replacements would not require any additional funding outside the approved 2025 interim budget values.

Attachments:

None

BRAZEAU COUNTY REQUEST FOR COUNCIL DECISION		
SUBJECT:	Ring Road Pathway Lights	
DATE TO COUNCIL:	January 13, 2025	
SUBMITTED BY:	Pippa Whaley, Public Works Manager	
ENDORSED BY:		
REVIEWED BY CAO:	Rudy Friesen, Chief Administrative Officer	

RECOMMENDED ACTIONS:

Council direct Administration to proceed with Option 1 for Ring Road Pathway Lights

1. TOPIC DEFINED

Executive Summary

During the Regular Council Meeting held on December 19, 2023 Council made the following motion requesting further information:

824/23-12-19 Moved by G. Gunderson to direct Administration to bring forward costs and plan for Ring Road solar lights. **CARRIED**

Administration engaged with three different vendors to explore various options. Below are three solar lighting options, along with two non-solar alternatives. After consulting with lighting experts and considering several factors, as outlined below, alternatives to 100% solar power were also explored for the following reasons:

Reliability and Consistency of Lighting

- **Fortis Lighting:** Fortis (or traditional grid-connected) lighting is typically more reliable than solar lighting. It provides consistent illumination, especially during winter months or cloudy days when solar panels may not generate enough energy to power lights effectively. This is crucial for pathways, as consistent lighting is needed for safety and security.
- **Solar Lighting:** Solar lighting relies on sunlight to charge batteries, which can be unreliable during overcast weather or during the shorter days of winter. This can lead to intermittent or insufficient lighting, which could compromise safety.

Lower Maintenance and Long-Term Cost

- **Fortis Lighting:** Traditional lighting, though requiring an initial installation cost, generally has a lower maintenance cost over time. The infrastructure is well-established and components (such

as bulbs and wiring) are readily available. The operational costs are predictable since electricity is sourced from the grid.

- **Solar Lighting:** While solar lights have low operational costs, the initial investment can be higher due to the cost of solar panels, batteries, and controllers. Additionally, solar panels and batteries require regular maintenance and replacement, particularly in harsher climates, which could incur more costs in the long run.

Grid Integration and Scalability

- **Fortis Lighting:** If there are plans to expand the pathway lighting in the future, Fortis lighting systems are easier to scale. Since these lights are grid-powered, extending the system is straightforward without the need for additional solar infrastructure.
- **Solar Lighting:** Solar systems are not as easily scalable due to the need for additional solar panels, batteries, and controllers. Integrating new sections of solar lighting can be more complex and costly.

Performance in Different Weather Conditions

- **Fortis Lighting:** Fortis lighting is not impacted by weather conditions such as rain, snow, or cold temperatures, which can reduce the performance of solar-powered lights. This makes Fortis lighting more reliable in regions with harsh winters or cloudy, wet conditions.
- **Solar Lighting:** Solar lighting systems are often less effective in colder climates where sunlight is scarce or if the panels become covered with snow.

Safety and Security Considerations

- **Fortis Lighting:** Traditional lighting is generally more robust and reliable, ensuring continuous illumination for pathways. This is crucial for public safety, especially at night, where poor lighting could lead to accidents or security risks.
- **Solar Lighting:** Solar lights can be more vulnerable to failure, particularly if battery storage isn't sufficient or if panels are obstructed. This could create areas with inadequate lighting, potentially leading to safety concerns.

Infrastructure and Planning

- **Fortis Lighting:** Traditional lighting systems are typically integrated into the existing municipal infrastructure. This allows for easier coordination with city planning and operations. Moreover, grid connections are already established in many areas, avoiding the need for additional infrastructure.
- **Solar Lighting:** While solar lighting is independent of the grid, it requires additional planning to ensure proper placement of panels to maximize sun exposure, and might require more complex installation in areas without optimal sunlight.

Environmental Considerations

- **Fortis Lighting:** While Fortis lighting uses grid power, it can still be environmentally responsible if the grid is increasingly powered by renewable energy sources, such as wind or solar.
- **Solar Lighting:** Solar lighting is generally seen as more eco-friendly, but its environmental impact depends on the manufacturing process of solar panels and batteries. Moreover, when they fail or need to be replaced, solar components contribute to electronic waste.

Energy Efficiency and Cost Predictability

- **Fortis Lighting:** Although Fortis lighting is powered by the grid, it often benefits from economies of scale in larger municipal systems. Costs related to energy consumption can be managed with energy-efficient bulbs (such as LEDs) and optimized scheduling.
- **Solar Lighting:** While solar energy is free, the cost of the initial installation and maintenance can be higher. The energy efficiency of solar panels can be impacted by environmental factors (e.g., dirt on the panels, snow cover), leading to less predictable energy savings.

Public Perception and Aesthetic Value

- **Fortis Lighting:** Traditional lighting can be more visually cohesive in an urban setting where streetlights are part of the overall infrastructure. Additionally, it can offer a more uniform and professional appearance, which might be valued by the community and stakeholders.
- **Solar Lighting:** While solar lighting can have a more modern or eco-friendly aesthetic, it might not align as well with the design or character of established public spaces, particularly in areas that are part of a heritage or traditional neighborhood.

Option	Per Light Cost	# required/spacing	Total Estimated Cost
Option 1 – FORTIS - Underground	See Total	20m	\$682,000.00*
Option 2 – FORTIS – Above Ground	See Total	20m	\$237,000.00*
Option 3 – FOX Canada -	\$10,145.00 + gst	20m	\$1,673,925.00
Option 4 – Proactive Planet - Solera Bollard Light	\$843.00 + gst	Priced at 20m, but due to Lumineers more will be required for adequate lighting	\$139,095.00 **
Option 5 – Proactive Planet – Off Grid Lighting	\$3,605.00 + gst	Priced at 20m, but due to Lumineers more will be required for adequate lighting	\$594,825.00 **

**Fortis – Budgetary estimate only. Investment is based on a 15 year term. Early termination may result in cancellation charges.*

***Estimate only based on 20m spacing, but due to low Lumineers additional may be required to achieve results*

Note: Solar lighting offers lower operational costs in terms of energy consumption, as it relies on renewable solar power. However, solar panels require regular maintenance and occasional repairs, which could increase the overall operational costs.

Note: Town portion – already lit with the Fortis underground option. Recommended option ensures consistency with our partner and maintains a uniform infrastructure, especially in areas where there is no clear boundary distinction.

The Administration would like to highlight that whichever option is selected, the execution will be synchronized with the planned alignment work on this pathway. The alignment will be completed first, followed by the installation of lighting. This approach ensures efficiency by completing both tasks simultaneously.

ATTACHMENTS:

Attachment 1 – Fortis Street Light Catalogue



Figure 1 – Option 3 - Solar Pathway lights in Devon, AB – Supplied by FOX



Figure 2 – Option 3 - Solar Pathway lights in Devon, AB – Supplied by FOX



Figure 5 – Option 4

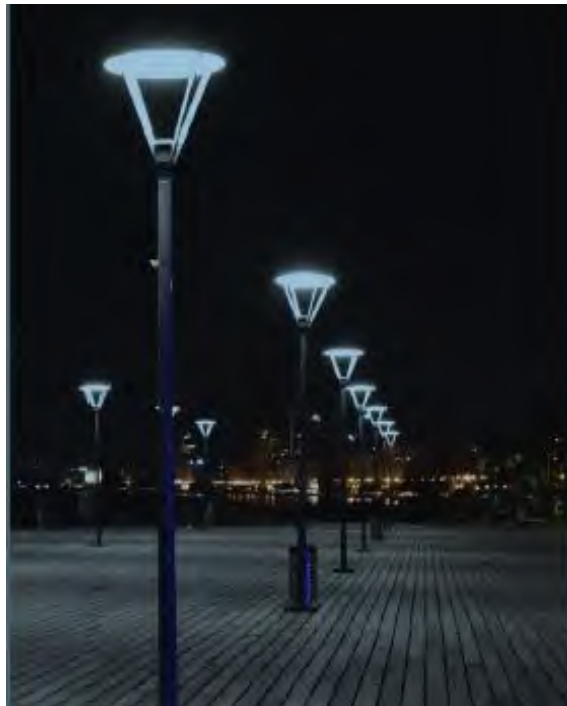


Figure 6 – Option 5



STREET LIGHTING CATALOGUE

FORTIS
ALBERTA





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ABOUT FORTISALBERTA

FortisAlberta is an electricity distribution utility dedicated to delivering safe and reliable electricity to the homes, farms and businesses of more than half a million customers in central and southern Alberta. We own and operate more than 60 per cent of the

province's electricity distribution network with 122,000 kilometres of power lines. Our company has more than 1,100 employees who work and live in many of the 200 communities we serve across the province.



OVERVIEW

Street lighting is a vital part of any community, and when properly designed, street lighting can reduce automobile collisions, deter crime, and foster a sense of safety. Properly designed street lighting can also add aesthetic appeal, as well as contribute to the overall structural design of any community.

The purpose of FortisAlberta's street lighting catalogue is to help customers understand the standard street lighting process as well as the fixture options available.

FortisAlberta has standardized its street light fixtures as part of its commitment to provide exceptional customer service to the communities it serves. The Company selects fixtures from various manufacturers to ensure continued compatibility with existing poles, which allows for alternatives and substitutions when the time comes to replace those fixtures. Using FortisAlberta-approved street lighting fixtures provides faster repair times, lower operational and installation costs, while maintaining a high level of street lighting standards.

FortisAlberta supports initiatives that reduce light pollution and ecosystem disturbance while maintaining the public's sense of safety and security within communities.

The Company is continually researching new lighting technologies to provide its customers with the most reliable, cost effective, and functional lighting products.

GUIDELINES

FortisAlberta designs street lighting according to the Illuminating Engineering Society of North America's (IESNA) recommended practice, and where applicable, to the standards of the Transportation Association of Canada (TAC).

Although lighting can be customized to meet a community's requirements, IESNA standards are FortisAlberta's default practice.

Since 1946, IESNA has developed and refined its principles of street lighting design. FortisAlberta is a corporate sustaining member in the IESNA organization.



BUG RATING

For years, IESNA used the “cutoff” classification system (full, cutoff, semi cutoff and non cutoff) to rate the amount of light emitted from a luminaire in unwanted directions. However, in 2005, IESNA began its efforts to replace the cutoff classification system, ultimately resulting in the new BUG (Backlight, Uplight and Glare) rating methodology. This represents a comprehensive system that limits lamp lumens to values appropriate for the lighting zone.

Although the “cutoff” classification may be applied to some products, lighting designers, specifiers, engineers and operation are rapidly recognizing and adopting the BUG rating system standards to evaluate Light Emitting Diode (LED) luminaires.

The BUG rating system is based on the criteria outlined below:

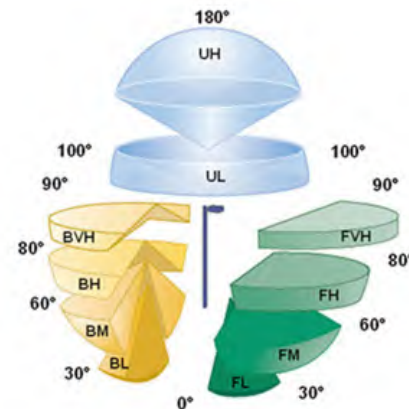
Backlight creates light trespass onto adjacent sites. The B rating takes into account the amount of light in the secondary solid angle zones of low, medium, high and very high (BL, BM, BH and BVH), which are in the direction of the luminaire OPPOSITE from the area intended to be lighted.

Uplight causes artificial sky glow. The U rating takes into account the amount of light into the upper hemisphere with greater concern for the lower uplight angles (UL). Lower uplight (zone UL) causes the most sky glow and negatively affects professional and academic astronomy. Upper uplight (UH) is mostly energy waste.


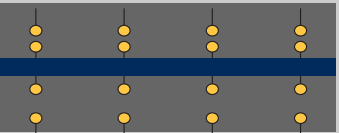
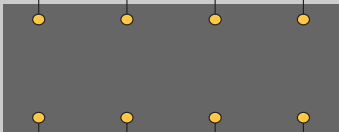
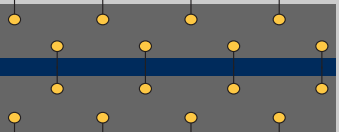
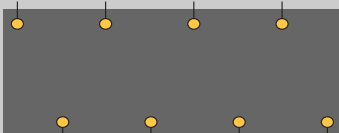
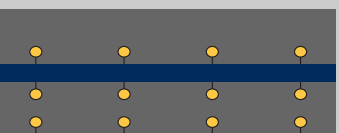
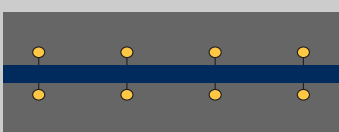
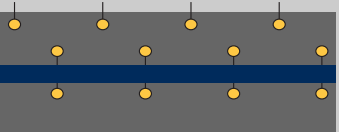
Glare can be annoying or visually disabling. The G rating takes into account the amount of frontlight in the high and very high (FH and FVH) zones.

The rating for the zone is determined by the highest classification in each of the zones (BUG) and is assigned a number from 0-5. The lower the number ie U0, the better the luminaire performs in this criteria.

In most cases the LED fixtures that were chosen by FortisAlberta qualify as dark sky friendly based on the BUG rating determined by the IESNA. For more information regarding BUG Ratings, please visit the IESNA web site at ies.org.



TYPICAL LIGHTING ARRANGEMENTS

Arrangement 1 <i>One-sided</i> 	Arrangement 5 <i>Opposite with Double Davit Median</i> 
Arrangement 2 <i>Opposite</i> 	Arrangement 6 <i>Staggered with Double Davit Median</i> 
Arrangement 3 <i>Staggered</i> 	Arrangement 7 <i>One-sided with Double Davit Median</i> 
Arrangement 4 <i>Double Davit Median</i> 	Arrangement 8 <i>One-sided Staggered with Double Davit Median</i> 



ROAD AND PEDESTRIAN CLASSIFICATIONS

The principal purpose of roadway lighting is to produce quick, accurate and comfortable visibility at night. These qualities of visibility may safeguard, facilitate, and encourage vehicular and pedestrian traffic.

ROAD AREA CLASSIFICATIONS

When selecting a classification, the area or roadway should best fit the definitions below rather than how others may refer to the road area.

Major: This refers to part of the roadway system that serves as the principal network for through-traffic flow. These routes connect areas of principal traffic generation and important rural roadways leaving the city. These routes are often known as arterials, thoroughfares, or preferentials through municipalities. They are sometimes subdivided into primary and secondary; however, such distinctions are not necessary in roadway lighting.

Collector: Collector roadways service traffic between major and local streets. These are streets used mainly for traffic movements within residential, commercial and industrial areas. They do not handle long, through trips. Collector streets may be used for truck or bus movements and give direct service to abutting properties.

Local: Local streets are used primarily for direct access to residential, commercial, industrial, or other abutting property. They make up a large percentage of the total street system, but carry a small proportion of vehicular traffic.

PEDESTRIAN AREA CLASSIFICATIONS

The major, collector and local street classifications appropriately describe general conditions of vehicular traffic in urban areas. However, a second consideration, which is responsible for a disproportionate number of nighttime fatalities, is the vehicle/pedestrian interaction. There are three types of pedestrian classifications:

High: Areas with a significant number of pedestrians expected to be on the sidewalks or crossing the streets during darkness. Examples are downtown retail areas, near theaters, concert halls, stadiums, schools, recreation centres and transit terminals.

Medium: Areas where a lesser number of pedestrians utilize the streets at night. Typical are downtown office areas, blocks with libraries, apartments, neighborhood shopping, industrial, older city areas, and streets with transit lines.

Low: Areas with very low volumes of night pedestrian usage. These can occur in any of the cited roadway classifications but may be typified by suburban single family streets, very low density residential developments, and rural or semi-rural areas.

Source – (IESNA) *The Lighting Handbook*, 10th Edition

LED STREETLIGHT INFORMATION

As owner and operator of more than 100,000 streetlights in Alberta, FortisAlberta is committed to improving the energy efficiency of our infrastructure, while controlling costs for our customers. For more than five years, we have conducted various independent pilot programs to gather data and compile findings regarding new Light Emitting Diode (LED) Streetlight fixture technology. Based on our findings, LED fixtures provide several benefits:

- » Lower energy consumption (60 per cent more energy efficient)
- » Improved safety and night visibility (more vibrant, clear and accurate white light)
- » Increased life expectancy (20 years)
- » Reduced maintenance costs (bulb replacements not required)
- » Decreased environmental footprint (no mercury, lead or other known disposable hazards)
- » Dark sky friendly

As a result, we have changed our standard for Streetlights to LED for all new construction and are in the process of completing an LED conversion program. FortisAlberta will continue to evaluate new products on a continual basis.

STREETLIGHT STANDARD CHANGE

All new streetlight fixtures will be constructed with LED technology. These fixtures were selected based on photometric performance and competitive pricing. The LED fixtures that were chosen qualify as dark sky friendly based on the BUG Rating determined by the Illuminating Engineering Society of North America (IESNA). For more information regarding BUG Ratings, please visit the IESNA website at ies.org.

Beginning March 1, 2017, any new requests for High Pressure Sodium (HPS) lighting will only be available under a Nonstandard Lighting Agreement. Municipalities accepting new installations of non-standard lamps, luminaires, and/or poles will be responsible for the purchase and stocking of replacement materials for non-standard fixtures, luminaires and/or poles.

SUGGESTED FIXTURES FOR TYPICAL USE:		
Suggested LED Fixture	Application	Page #
Cobra (FortisAlberta Standard)	Street and roadway lighting	10
Pendant	Decorative roadway and street lighting	11
Post Top	Decorative street, pathway lighting	12
Galleon	Decorative street, pathway, and area lighting*	13
Domus	Decorative street and pathway lighting	14
Traditionaire	Decorative street and pathway lighting	15
Contemporary	Decorative street and pathway lighting	16
Acorn	Decorative street and pathway lighting	17
Flood Light	Flood lighting	18
Yard Light	Security lighting	19

*Area lighting, fixtures that can be mounted as a single or multiple head(s) in various orientations to light a large area such as a parking lot.



LED CONVERSION OPTION

This option covers all Rate 31 cobra head style fixtures and will require no up-front capital investment from municipalities to facilitate the conversion. Non-cobra head style fixtures or decorative fixtures and yard lights will not be available in the LED Conversion Option at this time.

STREETLIGHT REPAIRS

Moving forward, FortsiAlberta will replace failed HPS cobra-heads fixtures with LED fixtures.

ADDITIONAL INFORMATION

Municipal customers are encouraged to contact their Key Accounts Manager for further details, or call 310-WIRE (9473) for general inquiries.



KEY CONSIDERATIONS

MUNICIPALITIES CAN CHOOSE LOWER LIGHTING LEVELS THAN RECOMMENDED BY FORTISALBERTA

FortisAlberta employees are thoroughly trained and have the expertise to design and install street lighting in accordance with the Illuminating Engineering Society of North America (IESNA) and Transportation Association of Canada (TAC) guidelines to ensure the appropriate lighting levels for the roadway classification are met.

If a municipality chooses to divert from the IESNA (and FortisAlberta) recommended levels, the municipality will be asked to sign a waiver form for each applicable project, which can be obtained from you Key Accounts Manager. This must be completed by the municipality and returned the FortisAlberta quoting or design department. The intent of the waiver form is to ensure the municipality understands all the risks and liabilities associated with making such a decision.

If you require further information regarding the waiver form, please contact your Key Accounts Manager.

MUNICIPALITIES CAN CHOOSE A FIXTURE THAT IS NOT RECOGNIZED AS A FORTISALBERTA STANDARD

FortisAlberta assesses and reviews street lighting options to ensure a wide selection while maintaining product quality and a high level of service for its customers. If a municipality chooses a streetlight that is not outlined in the street lighting catalogue, the municipality is required to sign a "Non-Standard Lighting Agreement" with FortisAlberta.

The Non-Standard Lighting Agreement outlines the responsibilities of FortisAlberta and the municipality. Most important to note is that the municipality is responsible for ordering, supplying, stocking and maintaining initial and ongoing inventory, including replacements, for any of the non-standard lighting fixtures and equipment. All non-standard lighting fixtures must be reviewed and approved by FortisAlberta to ensure they meet required Codes and local requirements for wind loading, public safety and safe operations.

For municipalities where a franchise agreement is in place, the streetlight penalty time outlined in the agreement does not begin until FortisAlberta receives the equipment, supplies and materials for the non-standard streetlights for the municipality.

If you require further information regarding the Non-Standard Lighting Agreement, please contact your Key Accounts Manager.

BANNERS

If a developer is interested in banners on new streetlight poles it is important to note that approval is required from the municipality as well as FortisAlberta before proceeding.

The process is as follows:

- » Streetlight poles with banners will be installed such that the banners will parallel the road driving surface to avoid overhanging the driving surface and conflict with vehicles. If the desired design for the banner arms is to be 90 degrees to the driving surface, the pole setback will need to increase. The setback will need to be far enough so the banner arms do not overhang the driving surface of the road and edge of the banner should be minimum of 0.5 metres from the outside face of the curb. This setback is not always possible in all locations and may require special approval from the local municipality to change standard road cross-sections.
- » Approval for banner installation must first be obtained from the municipality. The municipality will also determine the length of time the banners may hang.
- » Upon receiving approval, the specifications of the banners must be sent to the FortisAlberta Key Accounts Manager to submit for review and approval. Assessment charges may apply.
- » Upon approval, the banners can be installed and remain hanging for the approved length of time.

If you require further information regarding banner arms or the installation of banner arms on existing streetlight poles, please consult with a FortisAlberta representative.

RECEPTACLES AND FESTIVE LIGHTING

When considering the installation of receptacles on streetlight poles, it is important to keep in mind that additional lighting, such as festive lighting, is only available between the months of December through February.

As per Schedule A in FortisAlberta's Customer Terms & Conditions of Electric Distribution "Service Wattage" clause:

"Festive lighting service is available to municipalities that require decorative lighting for the holiday season during the months of December through February. A municipality may install festive lighting with a maximum increase of up to 15 per cent of their total street lighting wattage for a six week period at no charge. To capture consumption in excess of 15 per cent, an Excess Wattage charge of \$1 per kW per day will be applied, unless a streetlight service is separately metered. This will be charged directly to the municipality".

If you would like to explore the option of year-round festive lighting, additional load off the receptacles, or the installation of receptacles on existing streetlight poles, please call **310-WIRE (9473)** or **1-855-333-9473**.



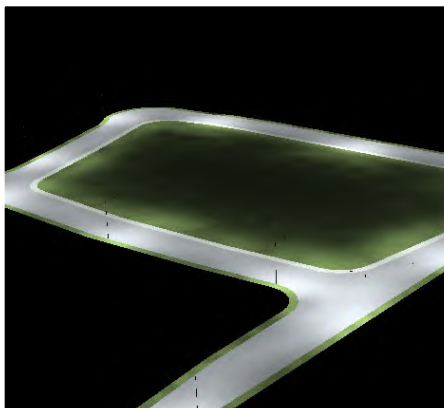
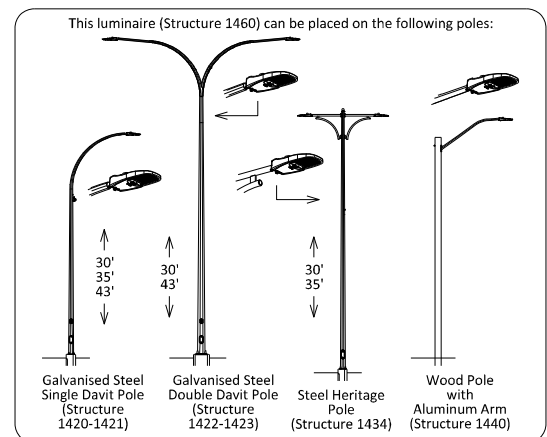
Note: It is important for customers to understand that the manufacturer's engineering department will require additional time to review specific requests, in addition FortisAlberta's Engineering and Standards team will need time to review their findings along with work with our Operations team to plan and coordinate the installation. Customers will need to factor this additional time into the consideration for their projects to ensure that FortisAlberta will be able to meet their in service date.

COBRA HEAD

Fixture Structure Number 1458–1460

Application — street and roadway lighting

Wattage	70W Replacement	100W Replacement	150W Replacement	250W Replacement
Delivered Lumen, Type II	3,564 Lux	4,800 Lux	7,398 Lux	14, 868 Lux
Delivered Lumen, Type III				14,405 Lux
BUG Rating Type II	B1-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G2
BUG Rating Type III				B2-U0-G2
Voltage	120 V			
CCT	3,000 K			
Light Source	LED			
Housing	Die-Cast Aluminum			
Finish	Polyester Powder Coat			
Finish Color	Standard color is grey; however, other color options are available upon request			
Estimated Cost	\$3,500 (includes pole, fixture and labour does not include secondary			



Residential Subdivision
Local road with low pedestrian conflict

Estimated number of street lights required per KM

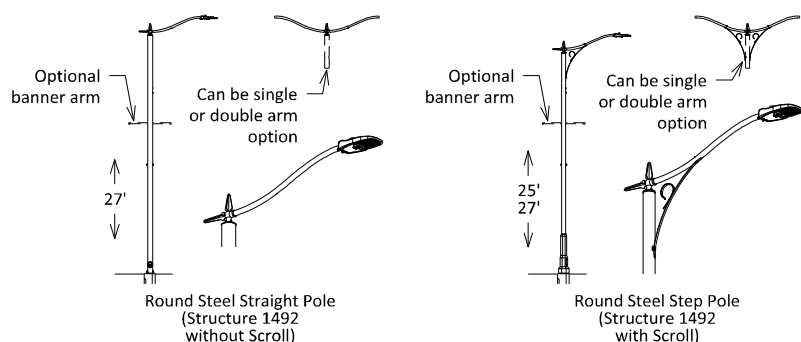
11m Local Road—20 lights

- » 100W replacement on 35' poles
- » one-sided lighting arrangement

16m Collector Road—20 lights

- » 150W replacement on 35' poles
- » one-sided lighting arrangement

This luminaire (Structure 1460) can be placed on the following poles:



For information regarding banner arms, receptacles, or festive lighting, please see page 9.

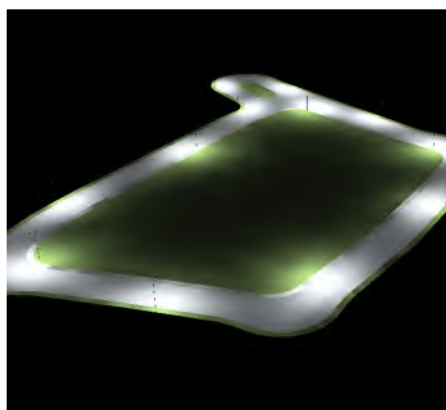
Standard delivery time is six weeks to three months.

PENDANT

Fixture Structure Number 1475

Application — decorative street and roadway lighting

Wattage	70-100 W Replacement	100-150W Replacement	150-175W Replacement
Delivered Lumen Type III	6,509 Lux	8,102 Lux	9,402 Lux
BUG Rating	B1-U3-G1	B2-U0-G2	B2-U3-G2
Voltage	120 V		
CCT	3000 K		
Light Source	LED		
Housing	Die-Cast Aluminum		
Finish	Polyester Powder Coat		
Finish Color	Standard color is black; however, other color options are available upon request		
Estimated Cost	\$7,900 (includes pole, fixture and labour does not include secondary conductor or any civil costs to install secondary)		



Residential Subdivision
Local road with low pedestrian conflict

Estimated number of street lights required per KM

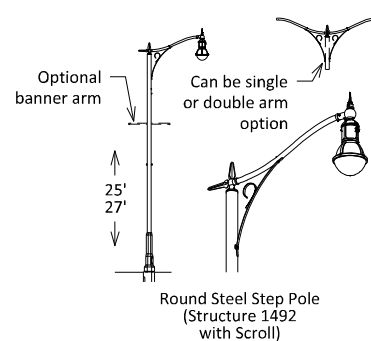
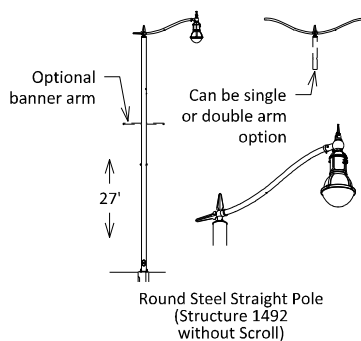
11m Local Road—19 lights

- » 100W replacement on 27' poles
- » staggered lighting arrangement

16m Collector Road—34 lights

- » 150W replacement on 27' poles
- » staggered lighting arrangement

This luminaire (Structure 1475) can be placed on the following poles:



For information regarding banner arms, receptacles, or festive lighting, please see page 9.

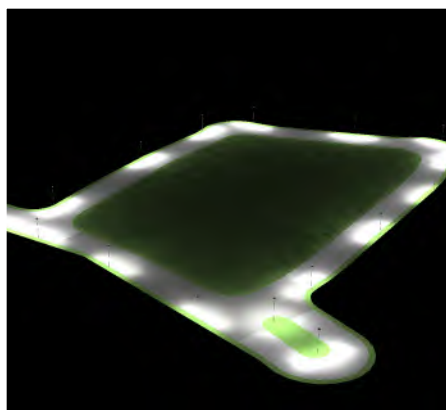
Standard delivery time is six weeks to three months.

POST TOP

Fixture Structure Number 1482

Application — decorative street, pathway lighting

Wattage	70W Replacement	100W Replacement
Delivered Lumen Type II	3,168 Lux	4,248 Lux
Delivered Lumen Type V		4,943 Lux
BUG Rating Type II	B1-U3-G2	B1-U3-G2
BUG Rating Type V		B2-U3-G2
Voltage	120V	
CCT	3,000 K	
Light Source	LED	
Housing	Die-Cast Aluminum	
Finish	Polyester Powder Coat	
Fixture Colour	Standard color is grey; however, other color options are available upon request	
Estimated Cost	\$3,200 (includes pole, fixture and labour does not include secondary conductor or any civil costs to install secondary)	

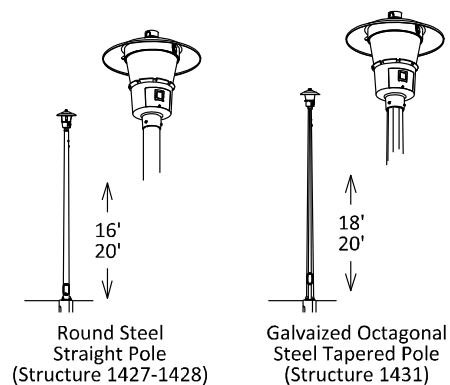


With its old fashioned charm, the Post Top Luminaire is ideal for parks or pathway lighting.

Estimated number of street lights required per KM on decorative 20ft pole

- 9m Local Road—30 lights
 - » 70W replacement
 - » one-sided lighting arrangement
- 11m Local Road—32 lights
 - » 70W replacement
 - » staggered lighting arrangement

This luminaire (Structure 1482) can be placed on the following poles:



For information regarding banner arms, receptacles, or festive lighting, please see page 9.

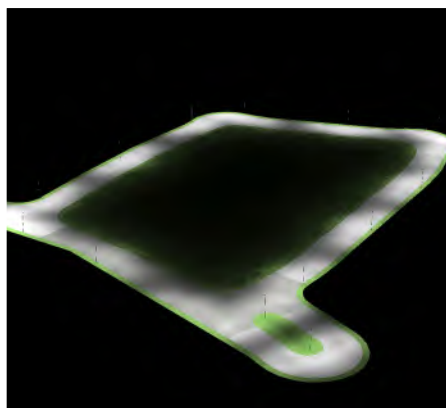
Standard delivery time is six weeks to three months.

GALLEON

Fixture Structure Number 1471

Application — decorative street, pathway, and area lighting

Wattage	70W Replacement	100W Replacement	200W Replacement
BUG Rating	B1, U0, G1	B2, U0, G2	B3, U0, G3
Voltage	120V		
CCT	3,000K		
Light Source	LED		
Housing	Die-Cast Aluminum		
Finish	Polyester Powder Coat		
Fixture Colour	Standard color is powder coated gloss black, if an alternate color is required, please specify at time of ordering.		
Estimated Cost	\$3,300 (includes pole, Luminaire and labour to install, does not include costs for secondary system or any material and civil costs to install system)		



Residential Subdivision
Local road with low pedestrian conflict

Estimated number of streetlights required per KM on decorative 20ft pole

9m Local Road—22 lights

- » 70W replacement
- » one-sided lighting arrangement

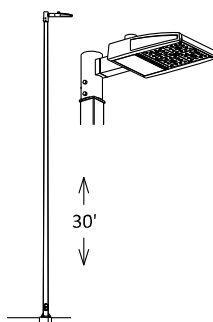
16m Collector Road—19 lights

- » 150W replacement on 30' poles
- » staggered lighting arrangement

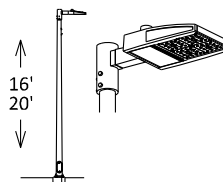
11m Local Road—23 lights

- » 70W replacement
- » staggered lighting arrangement

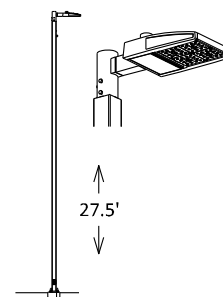
This luminaire (Structure 1471) can be placed on the following poles:



Painted Square
Steel Tapered Pole
(Structure 1426)



Painted Round
Steel Tapered Pole
(Structure 1427)



Painted Square
Steel Straight Pole
(Structure 1432)



For information regarding banner arms, receptacles, or festive lighting, please see page 9.

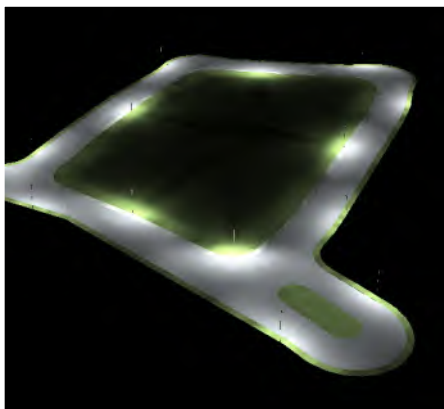
Standard delivery time is six weeks to three months.

DOMUS

Fixture Structure Number 1488

Application — decorative street and pathway lighting

Wattage	70W Replacement	100W Replacement	150W Replacement
Delivered Lumen Type III	2,475 Lux	6,979 Lux	8,674 Lux
BUG Rating	B1-U0-G1	B2-U0-G2	B3-U1-G2
Voltage	120 V		
CCT	3,000 K		
Light Source	LED		
Housing	Die-Cast Aluminum		
Finish	Polyester Powder Coat		
Finish Colour	Standard color is black; however, other color options are available upon request		
Estimated Cost	\$5,400 (includes pole, fixture and labour does not include secondary conductor or any civil costs to install secondary)		



Residential Subdivision
Local road with low pedestrian conflict

Estimated number of streetlights required per KM on decorative 20ft pole

9m Local Road—25 lights

- » 70W replacement
- » one-sided lighting arrangement

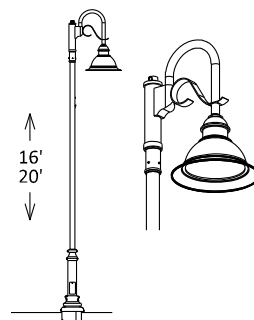
11m Local Road—23 lights

- » 70W replacement
- » staggered lighting arrangement

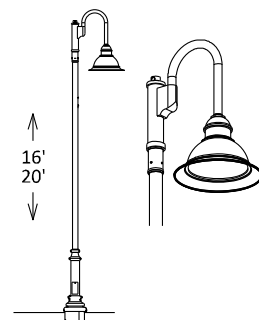
11m Collector Road—45 lights

- » 100W replacement
- » staggered lighting arrangement

This luminaire (Structure 1488) can be placed on the following poles:



Round Steel Straight Pole
with Base Casting
(Structure 1433 with Scroll)



Round Steel Straight Pole
with Base Casting
(Structure 1433 without Scroll)



For information regarding banner arms, receptacles, or festive lighting, please see page 9.

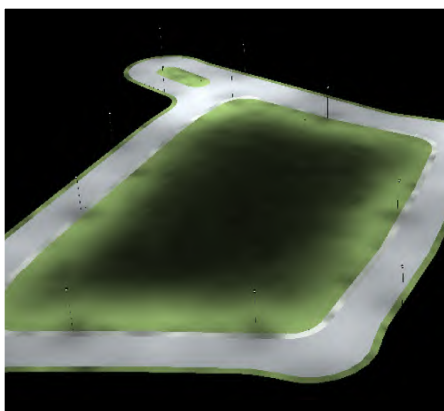
Standard delivery time is six weeks to three months.

TRADITIONAIRE

Fixture Structure Number 1474

Application — decorative roadway and pathway lighting

Wattage	70 W Replacement	100 W Replacement	150 W Replacement
Delivered Lumen Type III	2,462 Lux	4,924 Lux	7,386 Lux
BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2
Voltage	120 V		
CCT	3,000 K		
Light Source	LED		
Housing	Die-Cast Aluminum		
Finish	Polyester Powder Coat		
Finish Color	Standard color is black; however, other color options are available upon request		
Estimated Cost	\$5,700 (includes pole, fixture and labour does not include secondary conductor or any civil costs to install secondary)		



Residential Subdivision
Local road with low pedestrian conflict

Estimated number of street lights required per KM

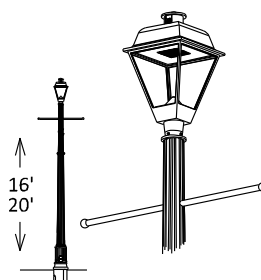
11m Local Road—28 lights

- » 100W replacement on 30' poles
- » one-sided lighting arrangement

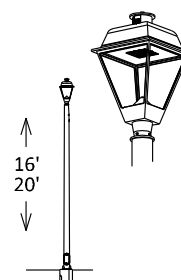
16m Collector Road—37 lights

- » 150W replacement on 30' poles
- » staggered lighting arrangement

This luminaire (Structure 1474) can be placed on the following poles:



Fluted Steel Pole
with Base Casting
(Structure 1429)



Round Steel
Tapered Pole
(Structure 1427)



For information regarding banner arms, receptacles, or festive lighting, please see page 9.

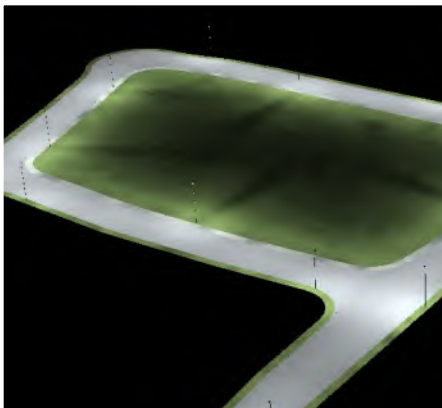
Standard delivery time is six weeks to three months.

CONTEMPORARY COACH

Fixture Structure Number 1473

Application — decorative street and pathway lighting

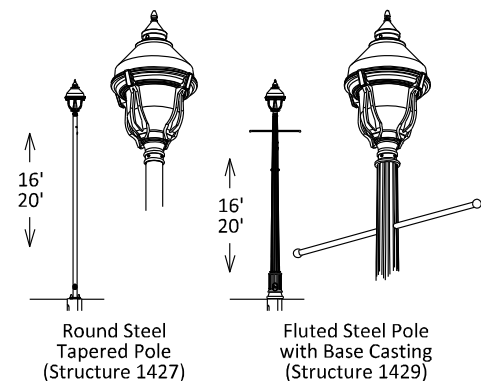
Wattage	70W Replacement	100W Replacement	150W Replacement
Delivered Lumen Type III	2,886 Lux	4,091 Lux	6,034 Lux
BUG Rating	B1-U2-G1	B1-U3-G1	B2-U3-G2
Voltage	120 V		
CCT	3,000 K		
Light Source	LED		
Housing	Die-Cast Aluminum		
Finish	Polyester Powder Coat		
Finish Colour	Standard color is black; however, other color options are available upon request		
Estimated Cost	\$6,800 (includes pole, fixture and labour does not include secondary conductor or any civil costs to install secondary)		



Estimated number of street lights required per KM

- 11m Local Road—24 lights
 - » 100W replacement on 30' poles
 - » one-sided lighting arrangement
- 16m Collector Road—35 lights
 - » 150W replacement on 30' poles
 - » one-sided lighting arrangement

This luminaire (Structure 1473) can be placed on the following poles:



For information regarding banner arms, receptacles, or festive lighting, please see page 9.

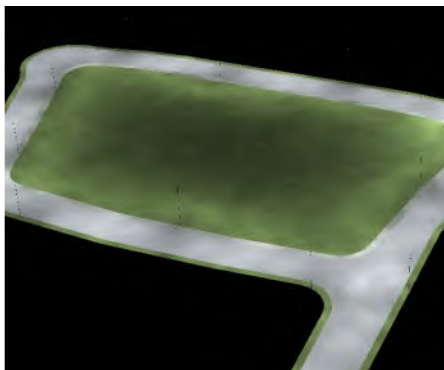
Standard delivery time is six weeks to three months.

ACORN

Fixture Structure Number 1472

Application — decorative street and pathway lighting

Wattage	100 W Replacement	150 W Replacement
Delivered Lumen Type III	4,990 Lux	7,076 Lux
BUG Rating	B2,U4,G4	B2,U4,G4
Voltage	120 V	
CCT	3,000 K	
Light Source	LED	
Housing	Die-Cast Aluminum	
Finish	Polyester Powder Coat	
Finish Color	Standard color is black; however, other color options are available upon request	
Estimated Cost	\$6,200 (includes pole, fixture and labour does not include secondary conductor or any civil costs to install secondary)	

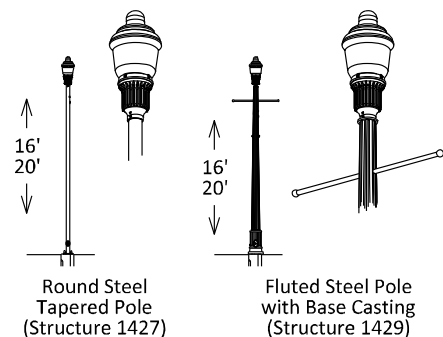


Residential Subdivision
Local road with low pedestrian conflict

Estimated number of street lights required per KM

- 11m Local Road—38 lights
 - » 100W replacement on 30' poles
 - » one-sided lighting arrangement
- 16m Collector Road—43 lights
 - » 150W replacement on 30' poles
 - » one-sided lighting arrangement

This luminaire (Structure 1472) can be placed on the following poles:



For information regarding banner arms, receptacles, or festive lighting, please see page 9.

Standard delivery time is six weeks to three months.

FLOOD LIGHT

Fixture Structure Number 1478

Application — flood lighting

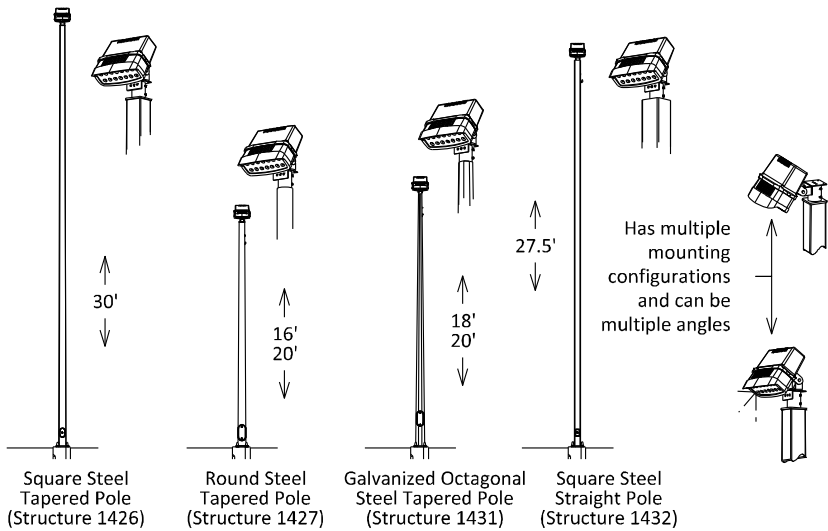
Wattage	100 W Replacement
Delivered Lumen	9,297 Lux
Voltage	120 V
CCT	3,000 K
Light Source	LED
Housing	Die-Cast Aluminum
Finish	Polyester Powder Coat
Finish Color	Standard color is Carbon Bronze
Estimated Cost	\$3,700 (includes pole, fixture and labour does not include secondary conductor or any civil costs to install secondary)



The Flood Light is ideal for many outdoor area lighting situations, including parking lots, construction and storage sites, rail yards, light industrial locations and outdoor ice rinks.

This fixture is not equipped with a twist-lock photo control therefore an externally mounted photo control must be supplied and installed by the customer.

This luminaire (Structure 1478) can be placed on the following poles:



Standard delivery time is six weeks to three months.

YARD LIGHT

Fixture Structure Number 1446

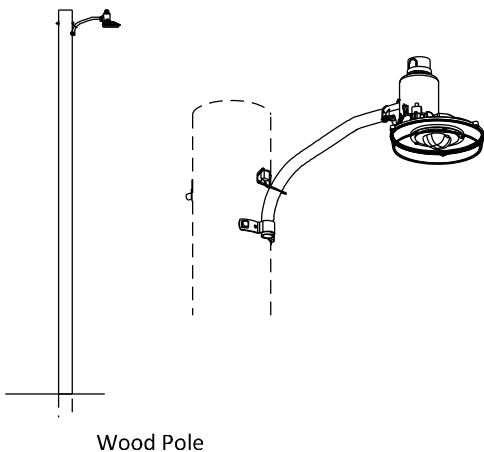
Application — area lighting

Wattage	100W Replacement
Delivered Lumen, Type V	3,867 Lux
BUG Rating	B2-U0-G1
Voltage	120 V
CCT	4000 K
Light Source	LED
Housing	Die-Cast Aluminum
Finish	Raw finish
Finish Colour	Unpainted
Estimated Cost	\$3,500 (includes pole, fixture and labour does not include secondary conductor or any civil costs to install secondary)



The Yard Light is ideal for security lighting.

This luminaire (Structure 1446) can be placed on the following pole type:



Standard delivery time is six weeks to three months.



QUESTIONS?

We're here for you, 24/7, for power outages and emergencies. Call us at **310-WIRE** (9473) or toll-free at: **1-866-717-3113**.

CONNECT WITH US

Follow us on our social media channels to see what we are doing in your community. Download the "FortisAlberta" app to view and report outages and more.

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BRAZEAU COUNTY UPDATE REPORT TO COUNCIL

SUBJECT: Township Road 474 from Range Road 54 to Range Road 55

DATE TO COUNCIL: January 13, 2025

PREPARED BY: Pippa Whaley, Public Works Manager

**UPDATE
INFORMATION:**

Objective:

ROHI Engineering Ltd. was engaged to perform a geotechnical investigation for the development of Township Road 474 from Range Road 54 and Range Road 55. The investigation presented three options, with **Option 2** being selected after careful review by administration.

Fig. 1 Project Location



Fig. 2 Options



Details of Option 2:

- This option involves 1,403 meters of new roadway.
- The design minimizes environmental impacts by avoiding wetlands and watercourses. However, it requires additional land acquisition.
- The new roadway ties into the existing intersection at Township Road 474 and Range Road 54 on the east, and a segment of the existing road near Range Road 55 on the west.

Permitting Requirements and Timeline Impact:

- Due to the proximity of the proposed road to a pipeline ROW, a **Wetland Assessment Impact Report (WAIR)** will be needed for the western tie-in portion of the project.
- The requirement for a field investigation during the growing season may extend the timeline for obtaining necessary permits, potentially delaying the project and pushing the start of construction to **2026** instead of 2025.

Feasibility and Design Considerations:

- ROHI conducted a comprehensive assessment of the site's suitability for road construction, considering environmental and engineering challenges such as steep gradients, beaver activity, and standing water.
- The **Brazeau County Local Road 2 Standard** will be followed for the road design, with a **8.0 m gravel surface**, 3% crown, and a 80 km/h design speed.

Environmental and Hydraulic Assessment:

- Environmental assessments identified wetlands and watercourses impacted by the project. Hydraulic analysis provided recommendations for **culvert placements** to manage water flow and prevent flooding.
- The three options were evaluated with respect to environmental sustainability, regulatory compliance, and mitigation measures.

Recommendations and Next Steps:

- ROHI recommends proceeding with **Option 2** due to its minimal environmental impact and cost-effectiveness, despite the requirement for land acquisition.
- Additional topographic surveys are recommended to refine the design details once the option is finalized.
- A meeting on **December 18, 2024**, confirmed the selection of Option 2, with an adjustment to the **County's Local Road 2 Standard**, which involves an 8m road width. This will be addressed in the detailed design phase.

Cost Estimate and In-house Execution:

- A budget of \$900,000 has already been carried over from 2024. Throughout 2025, we will allocate part of this budget for permitting, wetlands requirements, land acquisition, and other related costs. Staff is confident that we will be ready to proceed with construction in 2026. During the Fall of 2025, as part of the 2026 Interim Budget deliberations, staff will be in a better position to determine if additional funding is required. However, Option 2 ensures that the project can be completed in-house at a significantly lower cost.



BRAZEAU COUNTY UPDATE REPORT TO COUNCIL

SUBJECT: Road Request List

DATE TO COUNCIL: January 13, 2025

PREPARED BY: Pippa Whaley, Public Works Manager

**UPDATE
INFORMATION:**

As per PW-14 (attachment 1):

In the course of County operation, Council receives requests for the construction of new roads to access lands that presently have no developed County road allowance for access. Council must give consideration to all requests, and if financially feasible, these requests may be Included within the yearly budget approvals for a given fiscal year or added to the long term plan.

This report is for Council update without Administration recommendations at this point.

As many of these construction projects are completed in house, they need be discussed in further detail based on Councils' decision to determine the level of effort for completion in house and capacity based on 2025 workplans.

Attached is an updated list and map from all the information administration has received to date from road request applications.

- Attachment 1 – PW-14
- Attachment 2 – Road Request Spreadsheet
- Attachment 3 – Road Request Map

Policy Name

Miscellaneous Road Construction Requests

Policy Number

PW-14



Policy Statement

In the course of County operation, Council receives requests for the construction of new roads to access lands that presently have no developed County road allowance for access. Council must give consideration to all requests, and if financially feasible, these requests may be included within the yearly budget approvals for a given fiscal year or added to the long term plan.

Policy

1. Requests for road developments must be received in writing using the form attached as "Schedule A."
2. The County may consent to the use of County equipment on a cost recovery basis to construction improvements that may be part of subdivision requirements. The County shall consider these on an individual basis. Project requests exceeding a \$5,000.00 cost estimate shall require Council's approval.
3. Council may elect to review requests on a case by case basis from developers to develop County road allowance for the purpose of constructing a road. These requests will follow Brazeau County Minimum Design Standards, Alberta Transportation and Alberta Environment & Parks Regulations and any proposal must be approved by County Administration and Council. Prior to the commencement of construction the developer shall:
 - a. Enter into and comply with all the terms, covenants and conditions of the "Road Construction Agreement" with the County.
 - b. Post security with the County in the form of either cash or an Irrevocable Letter of Credit issued by a Chartered Bank or the Treasury Branch, or a combination thereof. Security shall be calculated on the basis of TWENTY FIVE (25%) of the estimated cost of designing and constructing the Road(s). This estimate shall be determined as follows:
 - i. Where actual tendered costs are available, the tendered costs shall be used; and
 - ii. Where actual tendered costs are not available, the Developer shall prepare cost estimates which shall be submitted to the County for approval, and if approved by the County, such cost estimates shall be used.
 - c. Any security held by the County shall be released upon issuance of the Construction Completion Certificate.

Chief Administrative Officer: _____

Approved By Council: 19/03/05

Revision Dates: 07/09/18, 16/01/19, 19/02/26

Reviewed: 14/09/29, 19/02/26

Where a condition exists that it is not possible to construct access to one of the above mentioned parcels by using existing undeveloped road allowances, the County may at the direction of Council acquire lands for the purpose of this construction or assume lands that may already have an existing right-of-way or road constructed upon them.

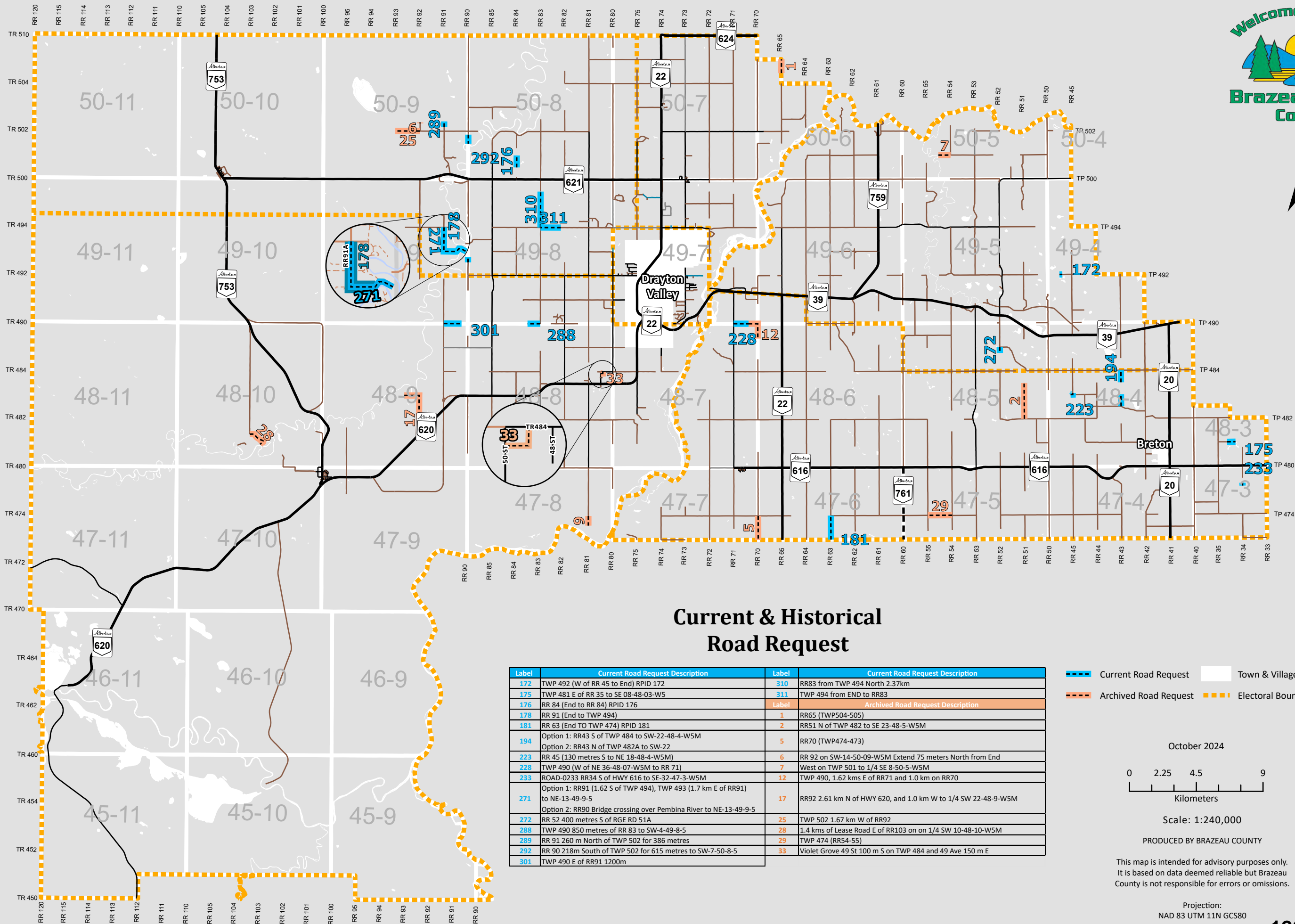
The above policy at all times shall be subject to the financial feasibility of how many projects, if any may be done in a single fiscal year.

Chief Administrative Officer: 
Approved By Council: 19/03/05
Revision Dates: 07/09/18, 16/01/19, 19/02/26
Reviewed: 14/09/29, 19/02/26

Road Request List

Status	Road ID:	Request Type	Road Design Standard	Description	Division	Application Date	Year of Application	Years Waiting	Request By:	Total Length (kms)	Motion Number	Comments	Est Project Cost	Land Locked	Through Road	Administration Requests
Active	ROAD-0176	New Construction	Lease Road	RR84 S of TWP 502	1	15-Apr-15	2015	9	Larry Chekerda (Now Mary Chekerda)	0.80	1639/16	1639/16 Moved by S. Mahan regarding ROAD-0176 RR 84 END OF RR 84 SOUTH OF TWP 502 NW 4-50-08-W5M to go with option 'b': undertake the preliminary works in 2020. - CARRIED UNANIMOUSLY	\$168,000	<input checked="" type="checkbox"/>		
Active	ROAD-0178	New Construction	Local Road	RR91 S of TWP 494	1	8-Mar-16	2016	8	Doug Udell and Kathy Berger	2.23	259/22-04-05	As per motion 1640/16 road up for preliminary works in 2021. Removed as per motion 0768/19-11-22. Replaced on the list as per motion 259/22-04-05.	\$635,550	<input checked="" type="checkbox"/>		
Active	ROAD-0271	New Construction	Local Road	Option 1: RR91 (1.62 km S of TWP 494), TWP 493 (1.7 km E of RR91) to NE-13-49-9-W5M Option 2: RR90 Bridge Crossing over Pembina River to NE-13-49-9-W5M	1	9-Oct-19	2019	5	Christopher Landmark	Option 1: 3.09 km Option 2: 0.4 km (w/bridge)		October 9, 2019 Mr. Christopher Landmark submitted a road request to obtain access to their NE 13-49-09-W5M. *Preferred - Option 1	\$880,650 (Option 1) \$1,690,000 (Option 2) - Third-party consultant estimate provided by Mr. Landmark	<input checked="" type="checkbox"/>		
Active	ROAD-0289	New Construction	Lease Road	RR91 260 m North of TWP 502 for 386 meter (SW 13-50-9-W5M)	1	16-Aug-22	2022	2	Larry Fink	0.39		August 16, 2022 Mr. Larry Fink submitted a road request, requesting RR 91 to be extended north ~386 m to the oil company road east/west across the north of 1/4 SW 13-50-9-W5M.	\$81,060			
Cancelled	ROAD-0292	New Construction	Lease Road	Rge Rd 90 218 m S of TWP 502 for ~615 m to SW-7-50-8-W5M	1	17-Oct-22	2022	2	Ken Thesen	0.62		October 17, 2022 Mr. Ken Thesen submitted a road request, requesting RR 90 to be extended south ~615 m to the 1/4 NW 7-50-8-W5M. **REMOVE, New owner (Nathan Black), no longer wants rewest on here. Emailed 9Dec2024	\$129,150	<input checked="" type="checkbox"/>		
Active	ROAD-0288	east of RR 83	Lease Road	TWP 490 ~850 meters West of RR83 to 1/4 Section SW 4-49-8-W5M	2	25-May-22	2022	2	Karen Drebert	0.85		May 25, 2022 Karen Drebert on behalf of her mother Hazel Bustin submitted a request for access to the land locked quarter section SW 4-49-8-W5M to construct 850 meters of undeveloped road allowance. Concerns: - Existing access through a lease road - land locked - Possible wetlands	\$350,000	<input checked="" type="checkbox"/>		
Active	ROAD-0172	New Construction	Lease Road	TWP 492 (RR45-50)	5	14-Jan-16	2016	8	Daniel & Edward Mears (Previously Gold Line Inc.)	0.20	1636/16	Landowners changed and new landowner hasn't submitted a road request. 1636/16 Moved by S. Mahan to receive for information ROAD-0172 TWP 492 400 METRES OF WEST OF RR 45 NW 7-49-4-W5M. - CARRIED	\$42,000	<input checked="" type="checkbox"/>		
Active	ROAD-0272	New Construction	Local Road	RR 52 ~400M S of RR 51A	5	29-May-20	2020	4	William Watson	0.4		May 29, 2020 William Watson submitted a request (via email) to construct 400 meters of undeveloped road allowance butting westside of the 1/4 NW-26-48-5-W5M. Concerns: - Existing access already present - Wetland Present	\$95,600			
Active	ROAD-0299	New Construction	Local Road	RR 62 between 500 & 501	5	15-Jan-24	2024	0	Jason Trenchuk	0.79		Includes ~500m of new road construction and upgrading of ~300m of lease road	\$215,000		<input checked="" type="checkbox"/>	
Active	ROAD-0175	New Construction	Lease Road	TWP 481 E of RR35 to SE 08-48-03-W5	6	10-Oct-12	2012	12	George Kunny	0.56	1638/16	1638/16 Moved by M. Thompson to direct Administration to explore all options and bring back a cost estimate to Council of ROAD-0175 TWP 481 EAST OF RR 35 SE 8-48-03-W5M. - CARRIED UNANIMOUSLY Currently accessing by a lease road.	\$117,600	<input checked="" type="checkbox"/>		
Active	ROAD-0228	New Construction	Local Road	Twp 490 East of RR71 to 1/4 section NE 36-48-07-W5M	6	26-Apr-13	2013	11	Hugh Houston (Now Anthony Seatter & Kimberly Watson)	1.0		Request for extension of Twp Rd. 490 east of RR 71 to access property (Land Locked currently accessing by way of easement through adjacent lands)	\$285,000		<input checked="" type="checkbox"/>	
Active	ROAD-0181	New Construction	Local Road	RR63 S of TWP 474	6	24-Aug-16	2016	8	Matthew Rosell (Renter)	0.81	1643/16	Road request to have RR63 S of TWP 474 upgraded due to existing condition. Furthermore, renter is requesting to have the road developed. 1643/16 Moved by S. Mahan to receive for information ROAD-0181 RR 63 SOUTH OF TWP 474. - CARRIED UNANIMOUSLY	\$230,850			
Active	ROAD-0194	New Construction	Lease Road	Access to SW 22-48-4-W5M	6	28-Apr-16	2016	8	Devon Fish/Game	0.8		Site meeting held with the landowner on-site May 22, 2018 to discuss options. Option 1 = S of TWP 484 Option 2 = N of TWP 482A	\$168,000	<input checked="" type="checkbox"/>		
Active	ROAD-0223	New Construction	Local Road	RR 45 South at the junction of TWP RD 483 to NE 18-48-4-W5M	6	16-Apr-18	2018	6	Jeremy Krukowski	0.25		Resident is requesting RR45 to be extended south and TWP 483 to west.	\$52,500	<input checked="" type="checkbox"/>		

Road Request List																
Status	Road ID:	Request Type	Road Design Standard	Description	Division	Application Date	Year of Application	Years Waiting	Request By:	Total Length (kms)	Motion Number	Comments	Est Project Cost	Land Locked	Through Road	Administration Requests
Active	ROAD-0233	Lease Road Take Over	Local Road	RR34 S of HWY 616 to SE-32-47-3 WSM	6	14-Sep-18	2018	6	Desiree Kaiser	0.2		September 14, 2018 Desiree Kaiser submitted a request to takeover 200 meters of lease road from the respective oil company. Concerns: - Existing condition assessment. - Communication with the oil company of environmental responsibilities.	\$40,000		<input checked="" type="checkbox"/>	
Active	ROAD-0310	New Construction	Local Road	RR 83 North of TWP 494 to HWY621	1	18-Oct-24	2024	0	Larry Pankewicz	2.37		7m - 568,000 8m - 628,050	\$630,000	*		
Active	ROAD-0311	New Construction	Local Road	Twp 490 east of RR 83	1	18-Oct-24	2024	0	Larry Pankewicz	1.34		7m - 321,600 8m - 355,100	\$360,000			
Active	ROAD-0301	New Construction	Local Road	Twp 490 east of RR 91	2	12JUL24	2024	0	Bart & Morgan Guyon	0.75			\$200,000			



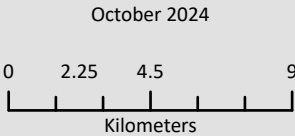
Current & Historical Road Request

Current Road Request Description		Current Road Request Description	
172	TWP 492 (W of RR 45 to End) RPID 172	310	RR83 from TWP 494 North 2.37km
175	TWP 481 E of RR 35 to SE 08-48-03-W5	311	TWP 494 from END to RR83
176	RR 84 (End to RR 84) RPID 176	Archived Road Request Description	
178	RR 91 (End to TWP 494)	1	RR65 (TWP504-505)
181	RR 63 (End TO TWP 474) RPID 181	2	RR51 N of TWP 482 to SE 23-48-5-W5M
194	Option 1: RR43 S of TWP 484 to SW-22-48-4-W5M Option 2: RR43 N of TWP 482A to SW-22	5	RR70 (TWP474-473)
223	RR 45 (130 metres S to NE 18-48-4-W5M)	6	RR 92 on SW-14-50-09-W5M Extend 75 metres North from End
228	TWP 490 (W of NE 36-48-07-W5M to RR 71)	7	West on TWP 501 to 1/4 SE 8-50-5-W5M
233	ROAD-0233 RR34 S of HWY 616 to SE-32-47-3-W5M	12	TWP 490, 1.62 kms E of RR71 and 1.0 km on RR70
271	Option 1: RR91 (1.62 S of TWP 494), TWP 493 (1.7 km E of RR91) to NE-13-49-9-5 Option 2: RR90 Bridge crossing over Pembina River to NE-13-49-9-5	17	RR92 2.61 km N of HWY 620, and 1.0 km W to 1/4 SW 22-48-9-W5M
272	RR 52 400 metres S of RGE RD 51A	25	TWP 502 1.67 km W of RR92
288	TWP 490 850 metres of RR 83 to SW-4-49-8-5	28	1.4 kms of Lease Road E of RR103 on on 1/4 SW 10-48-10-W5M
289	RR 91 260 m North of TWP 502 for 386 metres	29	TWP 474 (RR54-55)
292	RR 90 218m South of TWP 502 for 615 metres to SW-7-50-8-5	33	Violet Grove 49 St 100 m S on TWP 484 and 49 Ave 150 m E
301	TWP 490 E of RR91 1200m		

- Current Road Request

▭ Town & Village Boundary
- Archived Road Request

--- Electoral Boundary



Scale: 1:240,000

PRODUCED BY BRAZEAU COUNTY

This map is intended for advisory purposes only. It is based on data deemed reliable but Brazeau County is not responsible for errors or omissions.

Projection:
NAD 83 UTM 11N GCS80



BRAZEAU COUNTY UPDATE REPORT TO COUNCIL

SUBJECT: Log of Public Viewing of Nomination Papers

DATE TO COUNCIL: January 13, 2025

PREPARED BY: C. Whalen, Returning Officer

UPDATE INFORMATION: At its meeting on December 17, 2024 Council passed Bylaw 1196-24 requiring criminal record checks to be submitted as part of nomination papers for the 2025 Municipal Election.

Under the *Local Authorities Election Act* S. 28(6) and S. 28(602) nomination papers (including criminal record checks) must be viewable to the public upon request with personal information such as the address of the candidate and their official agent redacted.

During discussion of the bylaw, Councillor Westerlund asked if it would be possible to keep a log of those members of the public asking to view nomination papers that would be available to candidates.

The Returning Officer reached out to Municipal Affairs and Brazeau County's FOIP Coordinator to get clarity on the question.

Municipal Affairs noted that both the *Municipal Government Act* and the *Local Authorities Election Act* are silent on keeping a log for this purpose. However, it was noted that a log of this nature may raise concerns under the *Freedom of Information and Protection of Privacy Act* if there is no clear municipal purpose for collecting the information. While the legislation requires the nomination papers to be viewable to the public it does not provide a right for anyone to know who has requested to view the papers. Ultimately Municipal Affairs noted Brazeau County may wish to seek a legal opinion before making any direction to keep such a log.

Brazeau County's FOIP Coordinator also noted a number of possible concerns. Currently we do not keep records of people who request public information and the FOIP Act does not allow disclosure of who has requested access to information.

If Brazeau County was to create a log of who had requested to view nomination papers there would need to be a municipally relevant purpose

as to why the information was being collected, as well as determining who has access to the log and the retention period.

Based on the above information the Returning Officer is recommending Brazeau County not keep a log or record of members of the public requesting to view the nomination papers and criminal record checks within the parameters of the *Local Authorities Election Act*.

Town of Drayton Valley
December 16, 2024

Dear CAO Rudy Friesen,

This letter is on behalf of the Town of Drayton Valley municipal organization related to the financial support request for the services provided by DRAKE's Handi Bus.

At the joint Council meeting of Friday December 13, 2024, the Council of Brazeau County expressed the will to support the transportation services that are undertaken by the DRAKE's Handi Bus organization for seniors and residents with mobility challenges in our region.

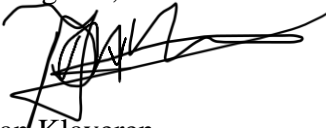
We would appreciate if you could either consider and decide based on your position or bring this topic forward at the upcoming Brazeau County Council meeting in order to create the opportunity for a decision and direction by your Council to allocate funds and share with the Town of Drayton Valley in the operational expenses of this community service.

The total requested amount for supporting their 2025 budget by the DRAKE's Handi Bus organization is \$15,000.00.

A cost share indication by Brazeau County Council was in the range of 10 to 15%, which would be a dollar amount of approximately \$ 2,000.00.

Thank you so much for your consideration and support in this matter.

Kindest regards,

A handwritten signature in black ink, appearing to read 'Hans van Klaveren', written over a horizontal line.

Hans van Klaveren
General Manager of Community and Recreation Services
hvanklaveren@draytonvalley.ca
780-202-4364

Business arising From the Dec 13, 2024, Joint Council Meeting with the Town of Drayton Valley.

Having the Town CAO and County CAO to plan an **Inaugural Charity Golf Classic**, similar to the one in the City of Chestermere where they raised **over \$100,000.00** via entry fees, sponsorship and donations that was split between the Jasper Rebuild and the City Library. The cost to the County and Town would be **zero dollars**, but some staff time. Councillors that don't golf, could do meet and greets and judge various holes for best drive, best put, hole in one etc.



i.e. Join the Town of Drayton Valley, Brazeau County Councillors for their Inaugural Charity Golf Classic! This exciting event will bring together golf enthusiasts, community leaders, and residents for a day of friendly competition, networking, and philanthropy, all set against the stunning backdrop of the Drayton Valley Golf Course.

Event Details:

- Date: Spring 2025
- Location: Drayton Valley Golf Course
- Tee-off begins at 1:30pm

Cocktails will begin at 6:30 pm, with dinner to follow at 7 pm. A short presentation will also be given by members of Council.

Registration is \$200 per golfer or \$800 per quartet, plus GST. Registration includes dinner. Drink tickets sold separately.

Mulligans can be purchased for \$10/per in advance or \$30/per on day of.



Business arising From the Dec 13, 2024, Joint Council Meeting with the Town of Drayton Valley.

To plan a open house - **Joint Coffee with Council** public engagement event, in March or April and provide information on how to run for Town or County Council, what's required, how to campaign, rules on election signs, required bank account, criminal record checks, deadlines followed by a Q&A session.



The session serves to provide residents with information on how to run for council, why you should, what's required and what to expect.

Snacks provided.

Questions and comments received at the Coffee with Councils session will be gathered into a report for Council's consideration.

Business arising From the Dec 13, 2024, Joint Council Meeting with the Town of Drayton Valley.

Add to the 2026 Budget Discussions a proposal to joint cost share a portable Rainstream Tower from Wildfire Innovations Inc.

Unit price is \$700,000.00 so \$350K for County, \$350K for DV. If town agrees to adding this, we could request a live demo this spring or summer.



DON'T WAIT UNTIL IT'S TOO LATE

RainStream™ mobile towers bridge the big gap between ground-based sprinklers and aircraft supported wildfire suppression in the wildland urban interface. RainStream™ telescopes to 100ft high to turn wind from enemy into ally by spreading a protective mist, rather than a shower of burning embers. It transforms any hydrant, water body or storage system into rainfall to protect lives, homes, wildland and infrastructure.



Royal Canadian Mounted Police

Commanding Officer
Alberta



Gendarmerie royale du Canada

Commandant
de l'Alberta

December 4, 2024

Mayor Bart Guyon
Brazeau County
7401 Township Road 494
Drayton Valley, AB, T7A 1R1

Dear Mayor Guyon,

RE: Rural Municipalities of Alberta (RMA) Convention – Fall 2024

I would like to thank your representatives for meeting with me and my Senior Leadership Team at the Fall 2024 Rural Municipalities of Alberta Convention in Edmonton. These meetings are important opportunities for us to hear about any questions, concerns, or comments your team may have with the Alberta RCMP in your area.

I understand the concerns raised about the homelessness challenges in your community. I want to assure you that we are continuing to advocate for provincial government support and resources catered towards rural communities. We also discussed the Regional Police and Crisis Team (RPACT) where we mentioned the new Provincial Steering Committee. That committee is currently working on assessing our current strategies in order to improve allocation of resources across the province.

As your police service, we must listen, be responsive and tailor our services to meet the needs of your community. Along with your direct conversations with detachment leadership, the discussions we had and feedback we received at our meeting helps us ensure we are responding to your priorities, and can continue to provide innovative, proactive police services to a community we are proud to serve.

Thank you again for the opportunity to meet, and we look forward to continuing to discuss your policing needs with you. Should you have any questions or concerns arise before our next meeting, please do not hesitate to contact me at 780-412-5444 or rob.h.hill@rcmp-grc.gc.ca.

Respectfully,

A blue ink signature of Rob Hill, written in a cursive style.

Rob Hill
Deputy Commissioner
Commanding Officer Alberta RCMP

11140 – 109 Street
Edmonton, AB T5G 2T4
Telephone: 780-412-5444
Fax: 780-412-5445